



EBEY'S LANDING HISTORIC PRESERVATION COMMISSION
ISLAND COUNTY COMMISSIONERS' HEARING ROOM (Room 102B)
1 NE 6th St., COUPEVILLE, WA
AUGUST 28, 2025

10:00: Roll Call

Approval of Minutes – Minutes from July 24, 2025

Public Comment on items not on the agenda -

Public Hearings:

- **COA-25-028:** Tasoff, 304 NE Fifth St, Coupeville, replacement of siding and windows on the historic Zylstra Law Office building.

Other Discussion items:

- **Update on EBY-23-023:** Revised elevations per HPC Conditions of Approval
 - o Mossman: New SFR. 975 Fort Casey Road, Coupeville
- **Update on EBY-25-025:** Revised site plan per HPC Conditions of Approval
 - o Wood: After-the-Fact Remodel. 433 Wanamaker Road, Coupeville
- Continued discussion of unpermitted structures an outreach.

The Historic Preservation Commission will hear testimony from interested persons either in person or via telephone or video. Written comments may be submitted comments to Planning & Community Development; 1 NE 7th Street, Coupeville, WA 98239 for projects within the County (EBY). Projects within the Town (COA), submit written comments to the Town of Coupeville, 4 NE 7th St., Coupeville, WA 98239

Join Zoom Meeting <https://zoom.us/j/91304102115?pwd=ajlTWjJxODdRbUd3cXNwQXY2QkQ2UT09>
Meeting ID: 913 0410 2115 Passcode: 509725 Dial by your location +1 (253) 215-8782,
Meeting ID: 913 0410 2115 Passcode: 509725



**CENTRAL WHIDBEY HISTORIC PRESERVATION COMMISSION
COUPEVILLE RECREATION HALL
COUPEVILLE, WA**

**July 24, 2025
10:00am**

A recording of this meeting can be found on Coupeville's website: www.townofcoupeville.org. Timestamps (*hr. m. s.*) for the beginning of each item and motion are designated in the minutes.

CALL TO ORDER

Chair Bishop called the meeting to order at 10:01am

COMMISSIONERS PRESENT

- ✓ Chair **Danielle Bishop**
- ✓ Commissioner **Katherine Baxter**
- ✓ Commissioner **Eve Parrish**
- ✓ Commissioner **Sheila Saul**
- ✓ Commissioner **Marshall Bronson**

STAFF PRESENT

- ✓ Ebey's Landing National Historical Reserve Preservation Coordinator **Josh Pitts**
- ✓ Island County Current Use Planner **Yumi Shridhar**
- ✓ Town of Coupeville Community Planning Director **Joshua Engelbrecht**
- ✓ Town of Coupeville Assistant Planner **Lisa Walsh**

APPROVAL OF AGENDA

Action: A motion was made by Commissioner Bronson, seconded by Commissioner Parrish, to approve the agenda of the July 24, 2025 meeting as submitted. *The motion passed unanimously.*

APPROVAL OF MINUTES

Action: A motion was made by Commissioner Baxter, seconded by Commissioner Saul, to approve the minutes of the July 10, 2025 meeting as submitted. *The motion passed unanimously.*

PUBLIC HEARING

Chair Bishop provided a description of the role of the Commission, its legal basis and process, and the standards and guidelines on which its decisions are based. She asked commissioners to declare any conflicts of interest or bias regarding the applications on the agenda and to disclose any ex parte communication or site visits.

- Chair **Bishop** visited all sites
- Commissioner **Baxter** visited all sites

- Commissioner **Bronson** visited all sites
- Commissioner **Parrish** visited all sites
- Commissioner **Saul** visited all sites

No public challenge to the participation of a commissioner was raised.

EBY-25-023 (6m. 0s.) – 433 Wanamaker Rd. – After-the-Fact Historic House Remodel - Continued

Island County Current Use Planner, Yumi Shridhar, continued the presentation on the after-the-fact historic house remodel. Elements of the presentation included a recap of the presentation on July 10, 2025, a description of work already completed along with a proposed deck on the south side of the house.

DISCUSSION

Chair Baxter opened the floor for discussion. Commissioners asked clarifying questions about permitted and not-permitted work, and changes to the south façade. Ebey’s Preservation Coordinator, Josh Pitts, went over his list of recommendations which include; removing the bellyband to match original siding, returning the windows on the east façade to the original size, recentering the front door and removing the sidelight, and replacing the door on the north façade. Commissioner Saul commented that a building permit should have been applied for before doing any work on the house.

The applicant, Dominic Wood, is open to making the recommended changes.

MOTION (36m. 30s.)

Action: A motion was made by Commissioner Baxter, seconded by Commissioner Parrish, based upon the staff report, evidence presented, comments made at the public meeting, and finding application EBY-25-023 to be consistent with Ebey’s Landing National Historical Reserve Design Guidelines, to approve the Certificate of Appropriateness with the conditions: the bellyband on the eastern façade must be removed, the windows on the eastern façade must be restored to original dimensions, and reinstall previous doors on the eastern façade or recenter a single door and remove the sidelight. *The motion passed, 3 yes, 1 no.*

At 10:39am, Chair Bishop closed the Public Hearing.

DISCUSSION ITEMS

Ebey’s Forever Grant

Ebey’s Preservationist, Josh Pitts, gave a presentation to the Commission about the Ebey’s Forever Grant Program. Elements of the presentation included an overview of projects funded in 2025, and the administrative process of Certified Local Governments and how grant funding works for CLG’s. Chair Bishop asked about covering Recording fees when they are over \$300.

Unpermitted Construction

Commissioners discussed examples of unpermitted construction within the Reserve. There is concern that if there is no enforcement of conditions given by the Commission, then it is all a waste of time. Some examples boil down to lack of information and education about historic

preservation on the Reserve. Effective communication is necessary for an effective process. Preservationist Pitts recommends a group of HPC Commissioners present the concerns to the Island County Board of Commissioners. Commissioner Bronson suggests a document that outlines preservation guidelines that each new owner would receive upon purchasing a property within the Reserve. Commissioner Baxter recommends coordination with real estate agents. Chair Bishop requests having a further discussion at the next meeting.

ADJOURNMENT

The meeting was adjourned at 11:38am.

Respectfully submitted,

Community Planning Director

Deputy Clerk Chris Jolly

Joshua Engelbrecht

DRAFT



Ebey's Landing National Historical Reserve
Certificate of Appropriateness
Connor Tasoff
304 NE Fifth St
COA-25-028

Level A or B (Review requested)

Level C (Decision requested)

Level C (Recommendation requested)

X

Jurisdiction: Town of Coupeville

I – PROJECT SUMMARY and BACKGROUND

The applicant requests a Certificate of Appropriateness for a proposal to replace the siding and windows on the historic Zylstra Law Office building.

The project site and surrounding area is located within Ebey's Review Area 2. The project requires a Level C Certificate of Appropriateness (COA) according to Coupeville Town Code 16.13.120.C.3 – additions or alterations to a historic structure. The historic status of this structure remains intact until the Ebey's Inventory is updated, so we are operating under the assumption that the historic designation of the Zylstra Law Office is unchanged until we are notified otherwise.

The public notice was published in the Whidbey News Times on Sunday, August 17, 2025, for the public comment period from August 17 to August 27, 2025. A sign was posted on the property on August 15, 2025. The Town of Coupeville has not received any public comments regarding the proposal.

II – PERMIT DATA

Building or Land Use Permit Type	Certificate of Appropriateness
Application Number	COA-25-028
Application Date	August 13, 2025
Applicant/Owner	Connor Tasoff

III – SITE DATA

Address	304 NE Fifth Street, Coupeville			
Parcel Number(s)	S6415-00-27005-2			
Size of parcel(s)	0.1837 acres			
Review Area	Review Area 2			
Historic Structure?	Yes	X	No	
Proximity to Historic Structures?	Yes		No	X
Zoning Designation	Medium Density Residential			
Other Site Features	None			

IV – STAFF CONTACTS

Title	Name	Phone	E-mail
Assistant Planner	Lisa Walsh	360-678-4461	assistantplanner@townofcoupeville.org

V – DISCUSSION

The Zylstra Law Office was relocated earlier this summer from its former site on the bluff at 6 NE Front Street to its current location at 304 NE Fifth Street in Coupeville. After the building was placed on its new foundation, further inspection revealed extensive damage to the windows, window trim, and siding. These components have deteriorated over time due to exposure to the shoreline environment, age, and, most recently, the relocation process. The siding contains multiple penetrations from vents and plumbing that must be repaired, replaced, or filled. In several areas, window glazing has failed, and many window frames are damaged beyond repair due to lack of upkeep and prolonged weather exposure.

The applicant requests approval to replace the existing siding on the south and west facades, which are the street-facing elevations, with Dutch lap siding, which is very similar in appearance to the original material. The remaining facades would be re-sided with Hardi Plank fiber cement lap siding that is similar to the original material and cost effective.

The applicant also proposes to replace all windows with vinyl windows of the same size, style, and configuration: single-hung, one-over-one. Exterior trim around the windows would be replaced in kind. The front wooden entry door would also be replaced in kind with a matching wood door. The rear wooden French doors would be replaced with a smooth fiberglass French door (not visible from the right-of-way). Additionally, the applicant proposes to remove a newer vinyl window on the rear façade that does not match the style or layout of the original windows.

VI – APPLICABLE DESIGN GUIDELINES

A. SECRETARY OF THE INTERIOR’S STANDARDS

The Secretary of the Interior’s Standards apply:	Yes		No	X
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The project site is not located within 100 feet of a historic resource in Ebey’s Landing National Historical Reserve; however, the structure itself is historic.

B. EBEY'S RESERVE DESIGN GUIDELINES

Staff has identified the following design guidelines as particularly relevant to the proposal.

CHAPTER 4.1.3 – Replacement-in-kind and Minor Changes – All Buildings - SIDING

Guideline	Staff Analysis
1.	Wood siding is strongly preferred for Replacement-in-Kind, repair, and alterations to historic buildings.
2.	<p>Fiber-cement siding products, such as Hardi Plank Lap Siding or other such materials seem to be the most successful in combining low maintenance with authentic appearance; they can also be easily painted. Care must be taken to select the appropriate texture and size to match the existing materials and to install the product properly.</p> <p><i>Staff found the proposed siding replacement materials to conform to the guidelines. Street-facing facades will use wood siding, and Hardi Plank Siding will be used on the remaining facades.</i></p>

CHAPTER 4.1.3 – Replacement-in-kind and Minor Changes – All Buildings – WINDOWS

Guideline	Staff Analysis
1.	<p>Repair rather than replace wood windows, if at all possible.</p> <p><i>Applicant states that repairing the existing windows is too expensive and not cost-effective for the intended use of the structure.</i></p>
2.	<p>If a window is so deteriorated that replacement is necessary, replacement windows should be of wood, if that is the existing material. Replaced window sash shall closely resemble the original.</p> <p><i>Applicant states that vinyl is the most energy-efficient, cost-effective option available for their budget and the anticipated use of the structure. Staff agrees with the use of vinyl replacement windows.</i></p>
5.	<p>New windows should be finished with trim elements consistent with historic dimensions and design character.</p> <p><i>Staff finds the proposed window replacement includes replacing window trim similar to existing historic trim and conforms to the guideline.</i></p>
6.	<p>Do not add new window or door openings on character-defining facades.</p> <p><i>No new openings are proposed.</i></p>

10.	In historic buildings, avoid modern window types such as picture windows or sliding glass patio doors on the main façade, unless they were original to the house. <i>Applicant proposes to replace the existing French doors with smooth, fiberglass French doors. This side of the structure is the rear (north-facing) façade and does not face the right-of-way.</i>
11.	Preserve the position, number, and arrangement of original windows and doors. <i>The applicant proposes to retain all original door and window openings, with the exception of a recently added window on the rear (north-facing) façade, which they would like to completely remove. Staff finds this request conforms to the guideline.</i>

CHAPTER 4.1.3 – Replacement-in-kind and Minor Changes – All Buildings – DOORS

Guideline	Staff Analysis
1.	Doors are often important character-defining features. Refurbish and re-use original doors and door hardware whenever possible. If replacement is necessary, match the material, style, and detailing as closely as possible. <i>Applicant proposes to replace the front door with a new, similarly styled wooden door. Staff finds the replacement door to conform with the guideline. See Windows #10 above for discussion of French doors.</i>

VII – RECOMMENDED MOTION

Based on the record developed to date, including application materials, staff report, evidence presented, and comments made at the public meeting, and finding application to COA-25-028 to be consistent with the Ebey’s Landing National Historic Reserve Design Guidelines, I move to recommend granting a Certificate of Appropriateness.

VIII – FINDINGS OF FACT AND CONCLUSIONS OF LAW

Based on the analysis presented above, staff proposes the following findings of fact with respect to Application number COA-25-028:

1. A Certificate of Appropriateness application was submitted by Connor Tasoff on August 13, 2025.
2. The site is within Review Area 2 of Ebey’s Landing National Historical Reserve and is classified as an addition or alteration to a historic structure within Review Area 2, requiring action on a Certificate of Appropriateness by the Historic Preservation Commission.
3. On August 21, 2025, Ebey’s Reserve Committee reviewed the application and found it to be consistent with the applicable Ebey’s Landing National Historical Reserve Design Guidelines.
4. In accordance with Chapter 16.13 of the Coupeville Town Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on August 28, 2025, and all wishing to be heard were heard.
5. In accordance with Guidelines in Chapter 4.1.3 – Replacement-in-Kind and Minor Changes – All Buildings – SIDING, the proposal conforms to the guidelines by retaining the historic appearance of the home, with special consideration given to the street-facing facades.

6. In accordance with guidelines in Chapter 4.1.3 – Replacement-in-Kind and Minor Changes – WINDOWS, the proposal conforms to the guidelines using reasonable replacement materials by maintaining the location and appearance of all the original windows.
7. In accordance with guidelines in Chapter 4.1.3 – Replacement-in-Kind and Minor Changes – DOORS, the proposal conforms to the guidelines by using similar materials, especially on street-facing facades.
8. After review of the proposed application and consideration of public comment and staff’s recommendation, the Historic Preservation Commission finds the application consistent with the applicable Ebey’s Landing National Historical Reserve Design Guidelines.

X – APPEAL PROCESS

A decision to approve, conditionally approve, or deny a Certificate of Appropriateness may be appealed as an administrative determination, together with the associated permit, in conformance with the appeal procedures set forth in Coupeville Town Code Chapter 2.52 and Sections 16.06.060 and 16.13.080.

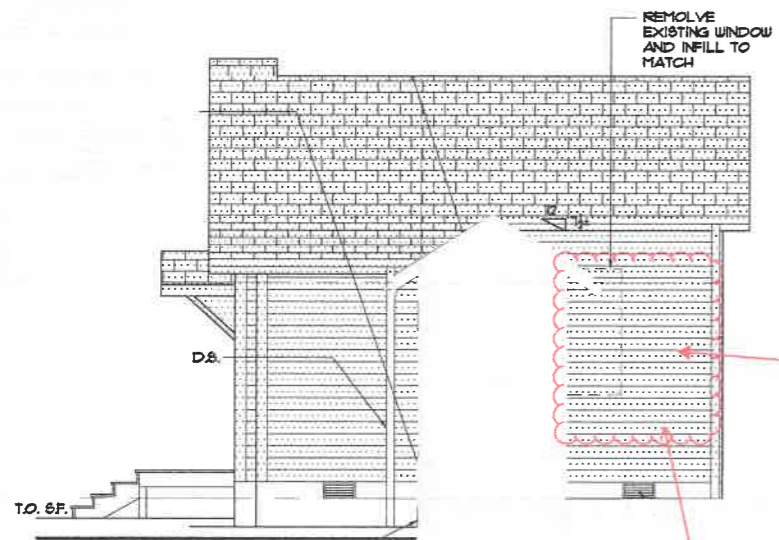
XI – DECISION OR RECOMMENDATION

The Historic Preservation Commission approves this Certificate of Appropriateness, signed this 28th day of August, 2025.

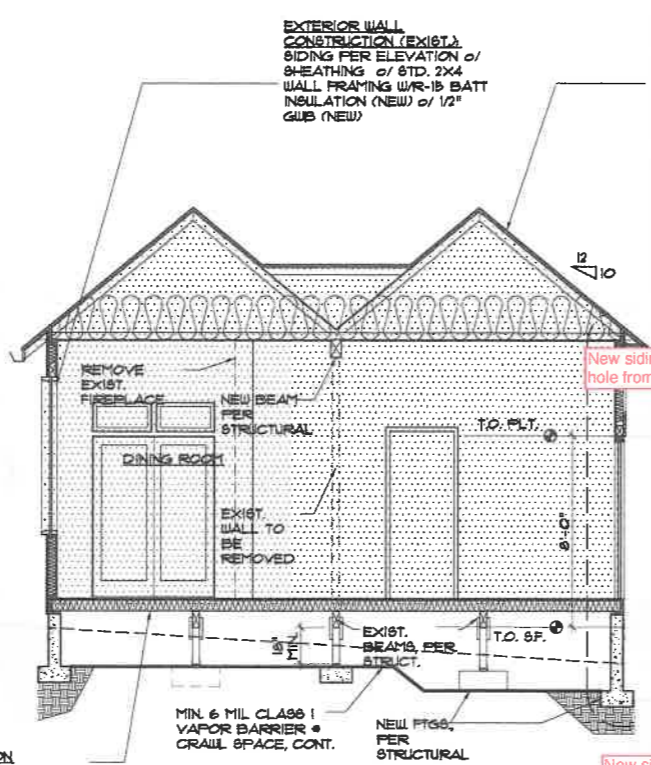
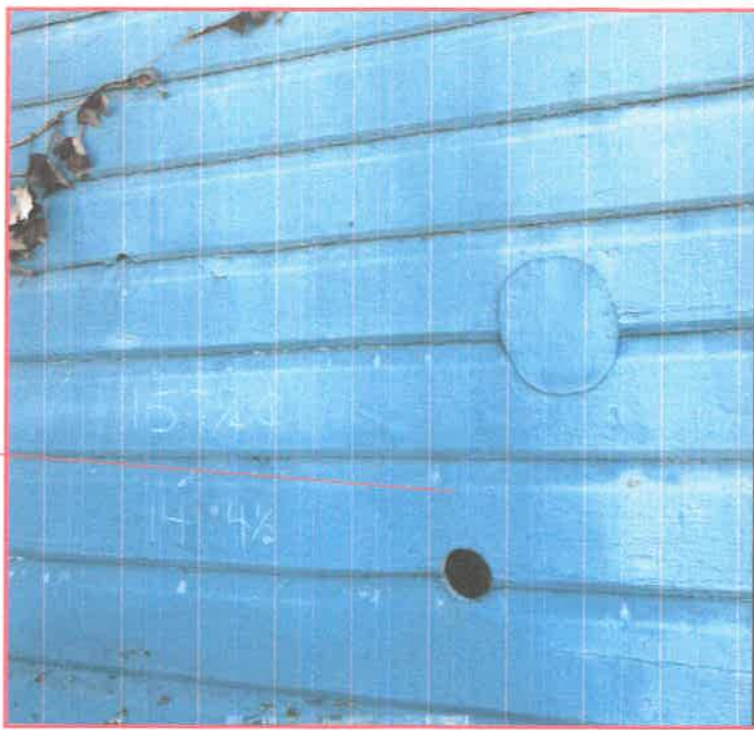
Historic Preservation Commissioner

Attested by:

Lisa Walsh, Assistant Planner, Town of Coupeville



This entire area will require re-siding for 1) infill of the existing vent lines penetrations, and 2) infill of the existing window.



FLOOR CONSTRUCTION (EXIST.)
FINISH FLOORING @
SUBFLOOR @ 2X6 JOISTS w/
R-38 BATT INSUL (NEW)

EXTERIOR WALL CONSTRUCTION (EXIST.)
SIDING PER ELEVATION @
SHEATHING @ 6TD, 2X4
WALL FRAMING W/R-15 BATT
INSULATION (NEW) @ 1/2" GUS (NEW)

ROOF CONSTR. COMPOSITION
@ ROOFING LIN (NEW) @ SHEAT
RAFTERS AND W/ R-60 BLOWN
(NEW) @ 1/2" GUS (NEW)

New siding required due to hole from electrical meter.

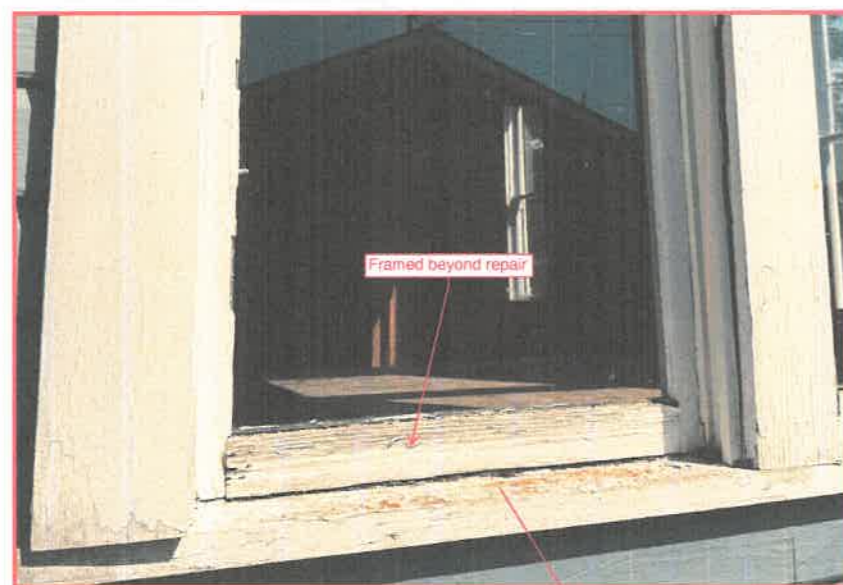
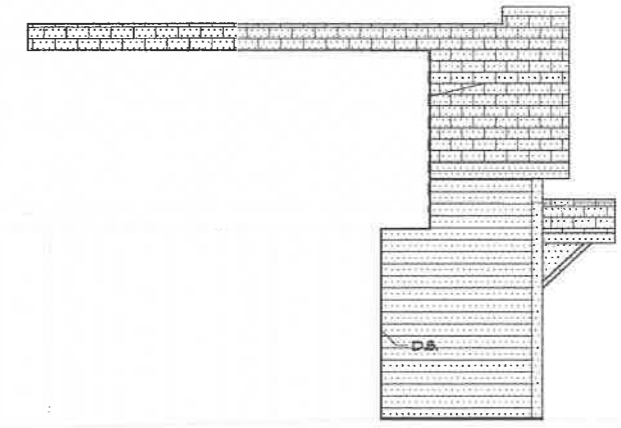
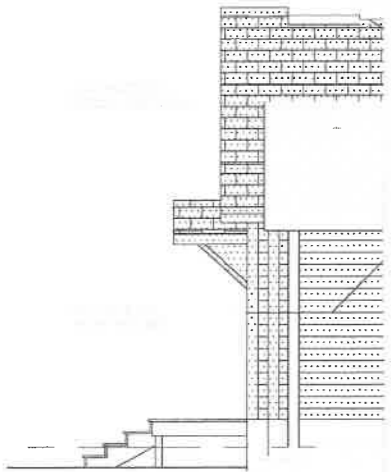
New siding required where required for removal during transport of structure. Material was not able to be salvaged given it's existing condition being buried in overgrown and soil at Front Street Lot. Typical for entire building perimeter.



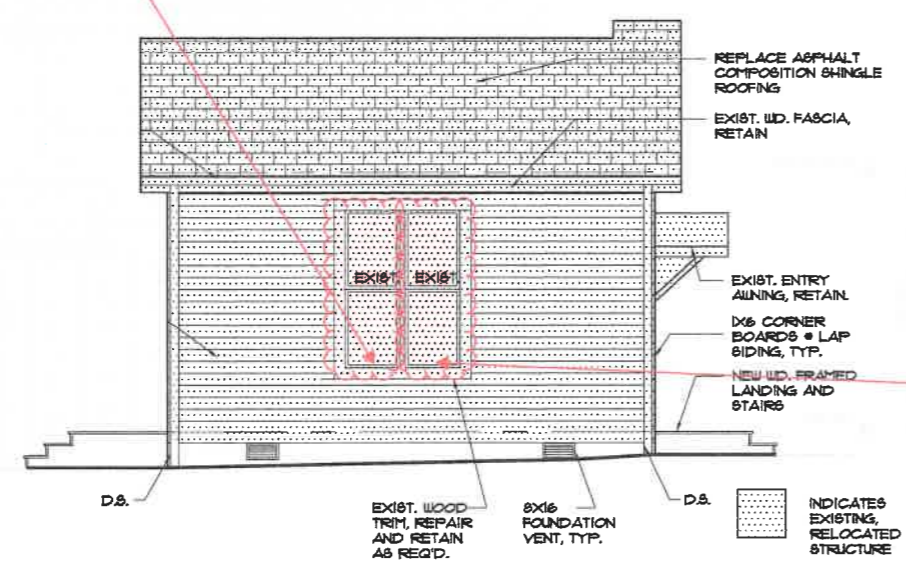
Bump out was unable to remain in place during transport of the house. It has been re-framed and will be re-sided with dutch lap siding.

New siding required where required for removal during transport of structure. Material was not able to be salvaged given it's existing condition being buried in overgrown and soil at Front Street Lot. Typical for entire building perimeter.

This entire area require re-sid of the existing penetrations, the existing w



Framed beyond repair



Window glazing falling out and failed, typical at most windows.

Sill rotted and failing

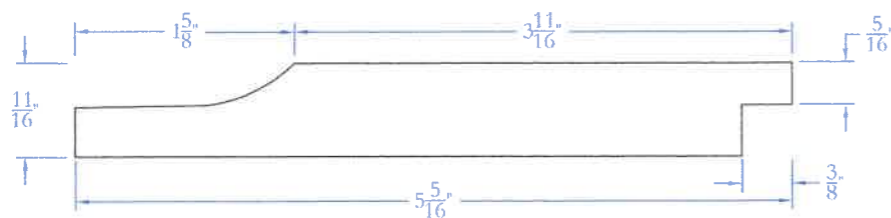
REPLACEMENT FRENCH DOOR



SF205468,5/4x,6/8,Smooth Fiberglass.Full Lite,Low-E
 L-H Active Outswing,White Weather Guard,4-9/16-in,Brickmould Options-No Brickmould (Omit)
 Bronze Bumper Sill,Sill Pan = Yes (Recommended),Weather-Strip Color-Brown
 Double Bore 2 3/8 Backset,Passive Door Bore = No Bore.Lockset Bore Location = 44 1/2-in
 (Standard),Deadbolt Bore Location = 39-in (Standard),Door Edge Prep = Face Plate (Radius Corner)
 Jamb Strike Prep = Full Lip Radius (Standard),Deadbolt Strike Prep = 1-in x 2-1/4-in Radius,Yes -
 Doorguard.Hinge Type = Non-Ferrous.Dark Bronze (Oil Rubbed) US10B,(N.U.W. = 66.N.U.H. = 80 1/2)

REPLACEMENT SIDING - SOUTH & PARTIAL EAST ELEVATION

Drop #105 Profile (Dutch Lap) to Match Existing

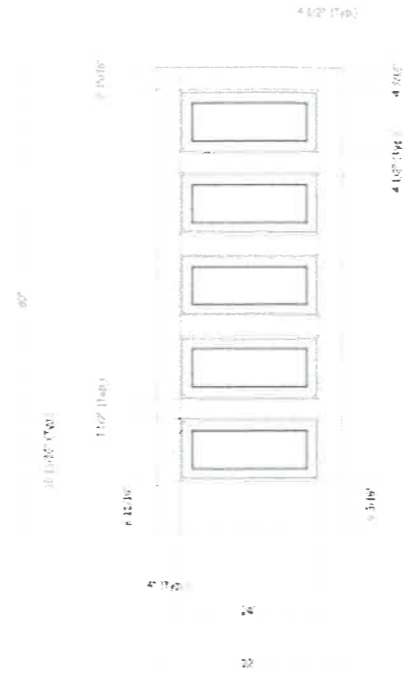


REMAINING BUILDING CLADDING

Hardie Lap Siding w/ Reveal to Match Dutch Lap Siding

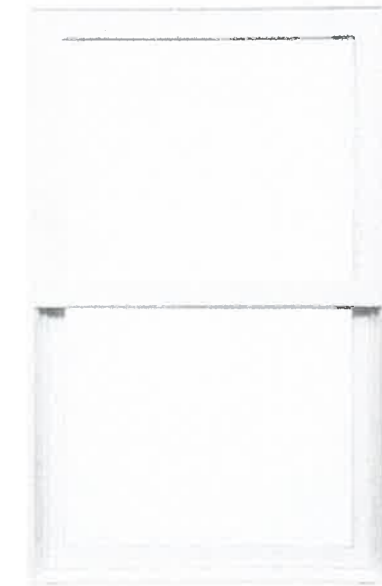


REPLACEMENT ENTRY DOOR MATCH



- 210X6/B
- 1-3/4"
- SGL
- LH 1/8
- FIR
- 7255 6PNL HORIZ (F7255)
- DBL BORE RAD PREP 2-3/8
- 6-9/16" ROTPROOFBTM JAMB
- RIP JAMB TO 6
- BRZ WS
- COMP ADJ SILL BRZ/DARK CAP
- SILL PAN
- STAPLE-ON BRZ
- NO CASING ROT PRF BTM
- 3 BALL BEARING ORB US10B 1/4R HINGES
- DOORGUARD

REPLACEMENT WINDOWS



Location:
 V400 Tuscany, 8220T, SH, 1 3/8" Setback, Ext White / Int White, U-Factor: .28, SHGC: .21, VT: .48
 1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered
 Argon Gas Filled
 Tariff



Viewed From Exterior

Line: 3
Quantity: 1

Location:
 V400 Tuscany, 8220T, SH, 1 3/8" Setback, Ext White / Int White, U-Factor: .28, SHGC:
 1/8" SunCoatMAX (Low-E) over 1/8" Clear
 Argon Gas Filled
 Tariff



Viewed From Exterior

Model = Single Hung
 Size = Call Out: 2668
 Net Frame: 29 1/2" x 79 1/2"
 Dimensions = Sash Height: One Half
 Energy Star Zone(s) = South Central; Southern
 Glass = 1/8" SunCoatMAX (Low-E) Tempered over 1/8" Clear Tempered with Argon
 Glazing = 7/8" OA Dual Glaze with Argon
 Hardware = SmartTouch Lock
 Other Options = Glass Breakage Warranty
 Screen = Standard with Fiberglass Mesh
 Ratings = STC: 29, OITC: 24, PG: LC-PG35
 Clear Opening = W 26 1/2" x H 35 7/8" Sq. Ft. 6.6, Egress: Yes
 Calculations = Unit Area (Sq. Ft.): 17, Unit Perimeter (nominal in lineal ft): 19'
 Other Ratings = CPD: MIL-A-225-20928-00001

Model = Single Hung
 Size = RO: 32" x 66 1/2"
 Net Frame: 31 1/2" x 66"
 Dimensions = Sash Height: One Half
 Energy Star Zone(s) = South Central; Southern
 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray
 Glazing = 7/8" OA Dual Glaze with Argon
 Hardware = SmartTouch Lock
 Other Options = Glass Breakage Warranty
 Screen = Standard with Fiberglass Mesh
 Ratings = STC: 29, OITC: 24, PG: LC-PG40
 Clear Opening = W 28 1/2" x H 29 1/8" Sq. Ft. 5.76, Egress: Yes
 Calculations = Unit Area (Sq. Ft.): 15, Unit Perimeter (nominal in lineal ft): 19'
 Other Ratings = CPD: MIL-A-225-20928-00001



Ebey's Landing National Historical Reserve
Certificate of Appropriateness
Wood
433 Wanamaker Road, Coupeville
EBY-25-023

AFTER-THE-FACT REMODEL; CONDITIONS OF APPROVAL UPDATE

I – PROJECT SUMMARY

Property owner Dominic Wood requested a Certificate of Appropriateness (COA) for a proposal for the after-the-fact remodel of the historic and contributing Hampton/Gould House. The exterior changes to the historic house include:

- Demolition of 2 historic chimneys.
- Addition of 3 skylights.
- Addition of a bellyband.
- Replacement of siding.
- Replacement of 16 windows, including a change in dimensions for 10 of them.
- Addition of 2 new windows.
- Replacement of 5 doors, including a change in dimensions.
- Addition of 1 sidelight.

The site address is 433 Wanamaker Road, Coupeville. The historic house is visible along Wanamaker Road, Keystone Hill Road, and SR20. The southern half of the parcel is a large wetland overlooking the ocean.

In accordance with Chapter 17.04A of the Island County Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on July 10, 2025, and all wishing to be heard were heard. The Historic Preservation Commission approved this project with the following conditions:

1. The bellyband on the eastern and western façade must be removed.
2. The windows of the eastern façade must be restored to its original dimensions.
3. Reinstall the previous doors of the eastern façade or reframe the opening by removing the sidelight.

On August 14, 2025, the applicant provided updated elevation plans that satisfy the conditions of approval approved by the Historic Preservation Commission.

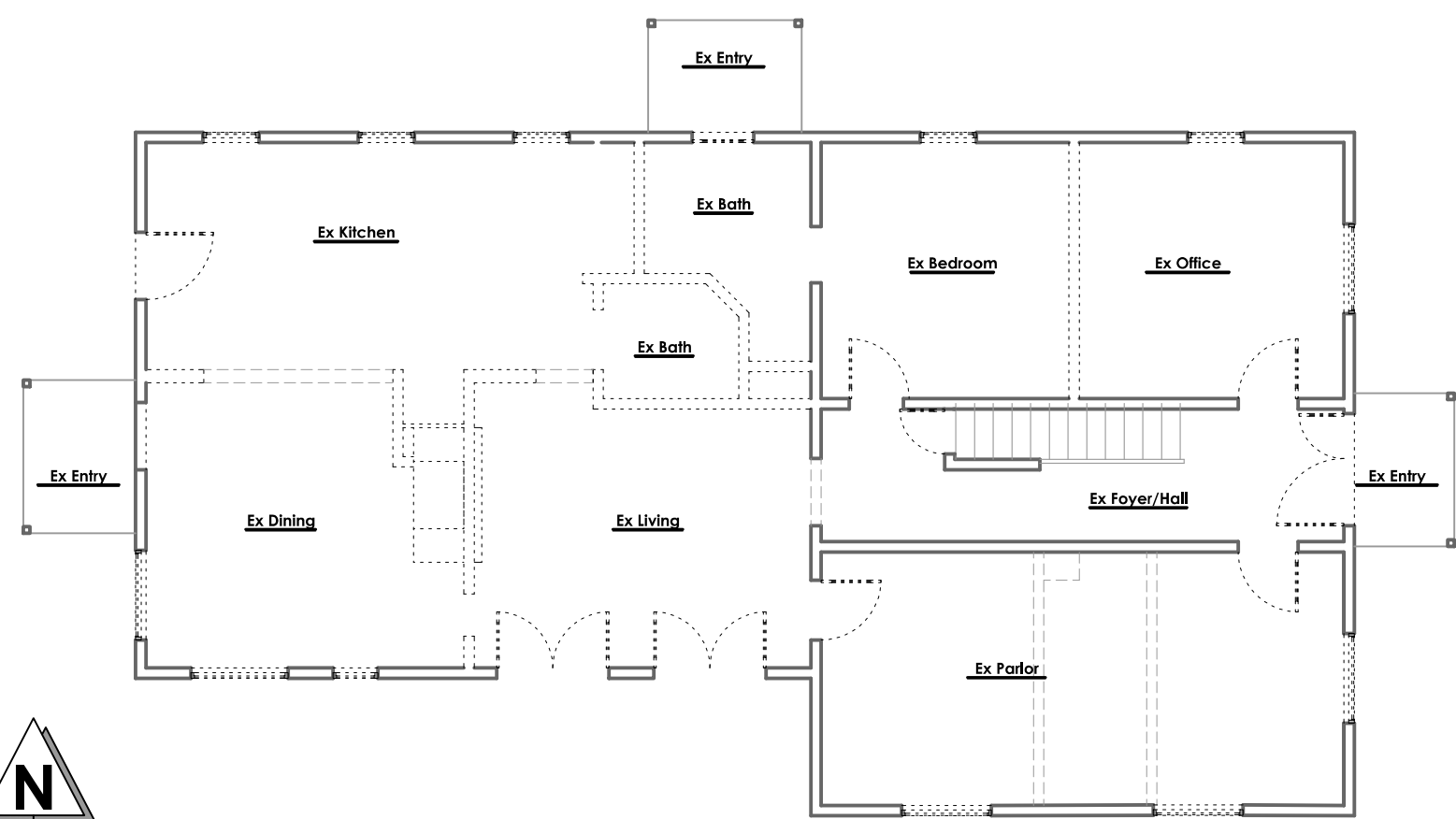
Attachments:

- A. Revised Elevation Plan, EBY-25-023
- B. Existing Elevation Plan approved July 24, 2025

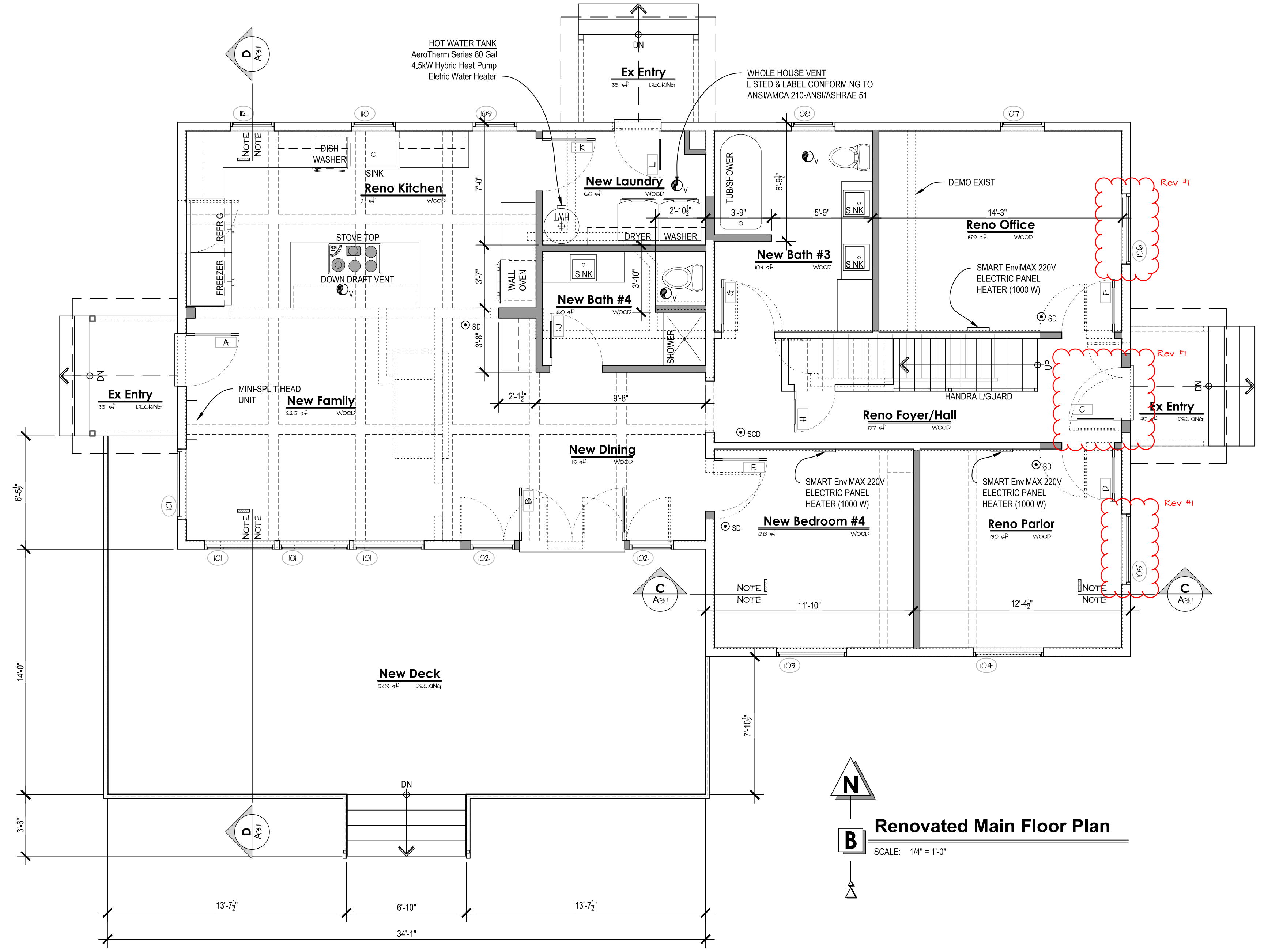


EBY-25-023: WOOD – AFTER-THE-FACT REMODEL

ATTACHMENT A: REVISED ELEVATION PLANS PER HPC CONDITIONS OF APPROVAL

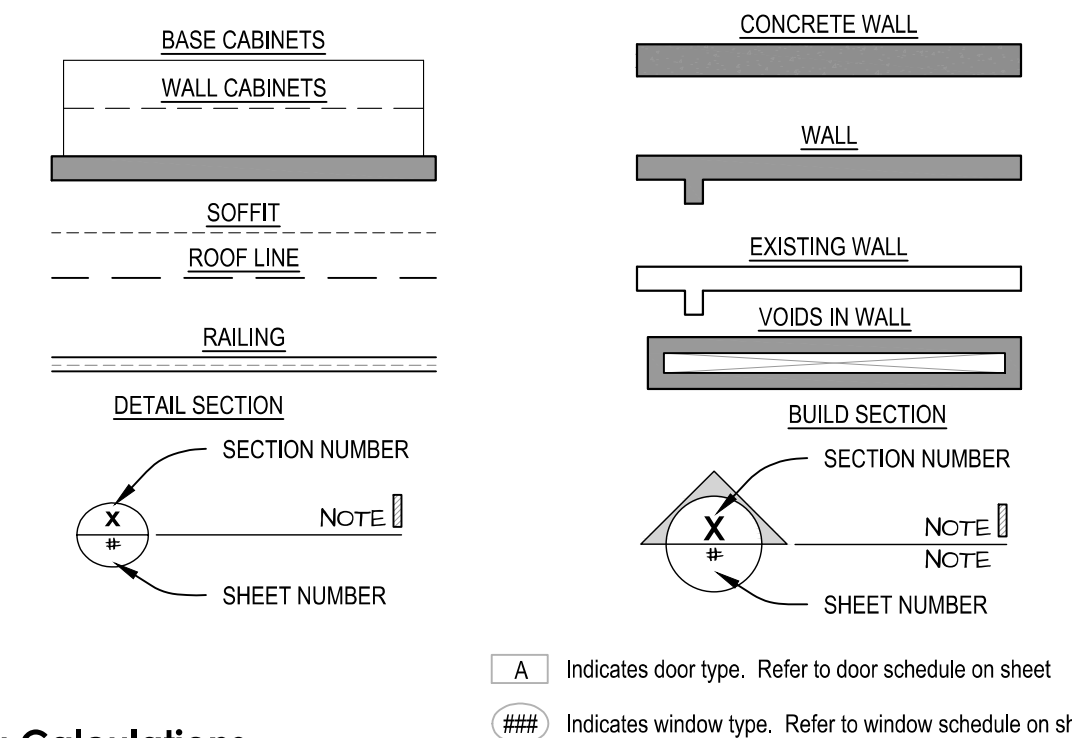


A Existing Main Floor Plan
SCALE: 1/8" = 1'-0"



B Renovated Main Floor Plan
SCALE: 1/4" = 1'-0"

Plan Legend



Area Calculations

Description	Existing Area	Renovated Area
Living Area		
Main Floor		
Living	1,470 sf	1,470 sf
Upper Floor		
Attic	470 sf	0 sf
Living	530 sf	1,000 sf
Total	2,470 sf	2,470 sf
Decks and Patios		
Cover Porches	100 sf	100 sf
Decks	- not present -	500 sf
Balcony (Upper Floor)	30 sf	30 sf
Fenestration Area:		
Present of Living Area:		15.5%
Glazing Area:		240 sf
Door Area:		143 sf

Plan Notes

Dimensions are to the face of rough framing unless indicated. Dimensions to doors and windows are measure to centerline of rough opening. Standard returns for doors, windows and openings adjacent to walls is 4" unless dimension otherwise.

GLAZING: Windows located in hazardous location on the plans are noted with SG and require safety glazing. Emergency escape and rescue windows are noted on plans as EG and shall have a window sill height note more than 44" above finished floor, and have a net clear opening of 5.7 sq. ft. with a minimum height of 24" and a minimum width of 20".

BATHTUB AND SHOWERS: Provide Fire stop at all bathtubs and showers. Glazed enclosures shall be safety glazed and have a min of 22" width for openings. If hinge, the door shall swing out from fixture. Provide a non-absorbing wainscot 60" above fixture and waterproof GWB backing.

GUARDS: Guards at Porches, Balconies, Ramps or Raised Floors are required when adjacent floor or grade is greater than 30". Opening within a guard shall not permit a 4" sphere to pass through. Triangle openings formed by riser, tread and bottom rail of guard shall not permit a 6" sphere cannot pass through.

Window Schedule

Mark	Size	Head Height	QTY	U Value	Description	Room
101	48" x 78"	7'-10"	4	0.25	Pitcher	Ex Family
102	30" x 48"	6'-10"	2	0.25	Shingle Hung	Ex Dining
103	48" x 72"	7'-10"	1	0.25	Shingle Hung	Bedroom #5
104	48" x 72"	7'-10"	1	0.25	Shingle Hung	Ex Parlor
105	48" x 72"	7'-10"	1	0.25	Pitcher	Ex Parlor
106	48" x 72"	7'-10"	1	0.25	Pitcher	Ex Office
107	30" x 72"	7'-10"	1	0.25	Shingle Hung	Ex Office
108	30" x 72"	7'-10"	1	0.25	Shingle Hung	Bath #3
109	30" x 72"	6'-10"	1	0.25	Picture	Ex Kitchen
110	30" x 36"	7'-6"	1	0.25	Glider	Ex Kitchen
111	30" x 48"	7'-6"	1	0.25	Glider	Ex Kitchen
112	30" x 48"	7'-6"	1	0.25	Glider	Ex Kitchen
113	48" x 72"	7'-6"	1	0.25	Shingle Hung	New Bath #1
114	48" x 72"	7'-4"	1	0.25	Shingle Hung	Ex Bedroom #2
115	Omitted	--	--	--	--	--
116	30" x 60"	6'-10"	1	0.25	Glider	Ex Bedroom #3
117	Omitted	--	--	--	--	--
118	Omitted	--	--	--	--	--

Door Schedule

Mark	Size	Head Height	QTY	U-Value	Description	Room
A	36" x 80"	6'-10"	1	0.25	RH Swing	Ex Family
B	72" x 80"	6'-10"	1	0.30	DBI Swing	Ex Dining
C	36" x 80"	6'-10"	1	0.25	RH Swing	Ex Foyer/Entry
D	36" x 80"	6'-10"	1	--	RH Swing	Ex Parlor
E	36" x 80"	6'-10"	1	--	RH Swing	Bedroom #5
F	36" x 80"	6'-10"	1	--	RH Swing	Ex Office
G	36" x 80"	6'-10"	1	--	LH Swing	Bath #3
H	28" x 80"	6'-10"	1	--	LH Swing	Ex Foyer/Hall
J	36" x 80"	6'-10"	1	--	LH Swing	Bath #4
K	36" x 80"	6'-10"	1	--	RH Swing	Laundry
L	32" x 80"	6'-10"	1	0.25	RH Swing	Laundry
M	30" x 80"	6'-10"	1	--	RH Swing	Ex Bedroom #2
N	30" x 80"	6'-10"	1	--	LH Swing	Ex Bedroom #3
P	36" x 80"	6'-10"	1	--	RH Swing	Ex Bath #2
Q	64" x 80"	6'-10"	1	0.25	DBI Swing	Ex Hall
R	30" x 80"	6'-10"	1	--	LH Swing	New Bedroom #1
S	30" x 80"	6'-10"	1	--	LH Swing	New Bath #1

Scope of Work

- Structural Work**
 - Foundation repairs around the kitchen and living room perimeter walls.
 - Removal of two existing chimneys (one in the kitchen/living area and one in the upstairs bedroom).
 - Installation of a new structural beam in the kitchen/living area and a new header beam over the living room windows, both supported by newly poured stem walls.
 - Replacement of floor joists throughout the kitchen and living room.
 - Repair of the upper-level porch, including support beam upgrades to meet current code requirements.
 - Replacement of the interior staircase with a new code-compliant assembly.
- Roofing and Insulation**
 - Complete roof replacement, including installation of three new skylights.
 - Addition of 4" rigid foam insulation beneath the roof sheathing.
 - Reinforcement of attic framing to accommodate new roof and skylight loads.
 - Installation of new insulation in all exterior wall cavities per current energy codes.
 - Replacement of all existing windows with new, code-compliant units.
 - Replacement of all interior and exterior doors.
 - Plumbing
 - Replacement of all water supply and drain lines for four bathrooms.
 - Installation of a new jetted tub and replacement of an existing tub.
- Mechanical and Electrical**
 - Replacement of six sinks and four shower fixtures.
 - Installation of four new exterior hose bibbs.
 - Addition of a new well pump and water filtration system.
 - Installation of a new 80-gallon electric water heater.
 - Removal of all existing electric baseboard heaters.
 - Installation of twelve Envi walk-mounted electric heaters.
 - Addition of two ductless mini-split HVAC systems, one for each floor.
 - Full panel replacement and rewiring of the home to meet current electrical code requirements.
 - Installation of LED lighting throughout the home.
 - Addition of a new dedicated circuit for an electric vehicle charger.
- Interior Finishes**
 - Installation of new kitchen cabinetry.
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 - Tile flooring installation in two bathrooms.
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- Exterior Improvements**
 - Replacement of decking and railings on the front and side porches to meet current code standards.
 - Plans for a new rear deck and hot tub, to be submitted under a separate permit if required.

REVISIONS
8/14/25
COA Revisions

25.013
Randy Temal, Jr., PE
Randy Temal, Jr., PE
Randy Temal, Jr., PE
CONSTRUCTION DOCUMENTS
APRIL 16, 2025

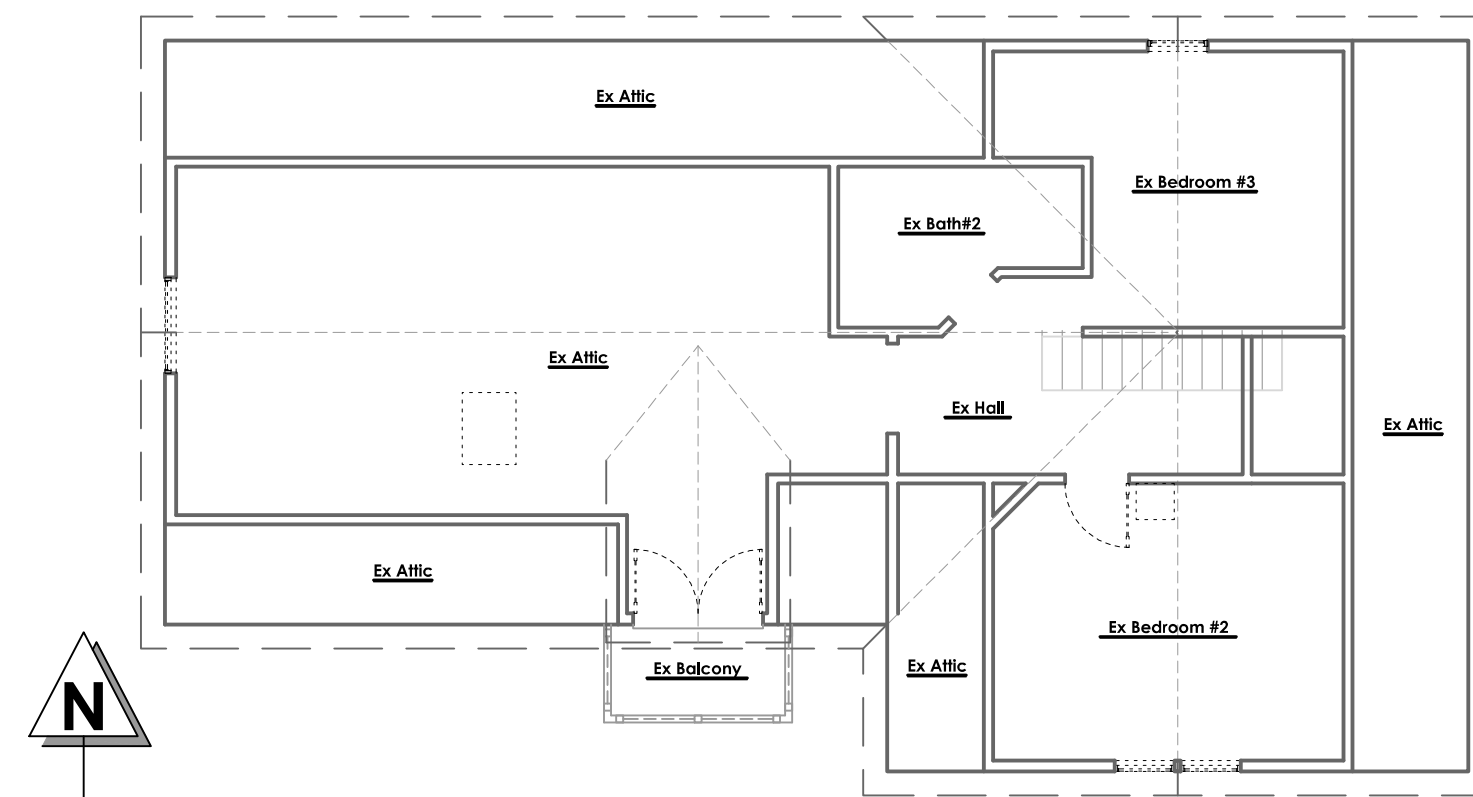
RaBuilt
structural engineering
Oak Harbor, Washington 98277
P.O. Box 148

1/4" = 1'-0"
Existing Main Floor Plan
Renovated Main Floor Plan

Main Floor
Wanamaker Renovations
Wanamaker Consulting & Mgmt. LLC
433 West Wanamaker Road
COLEVILLE, WA 98239
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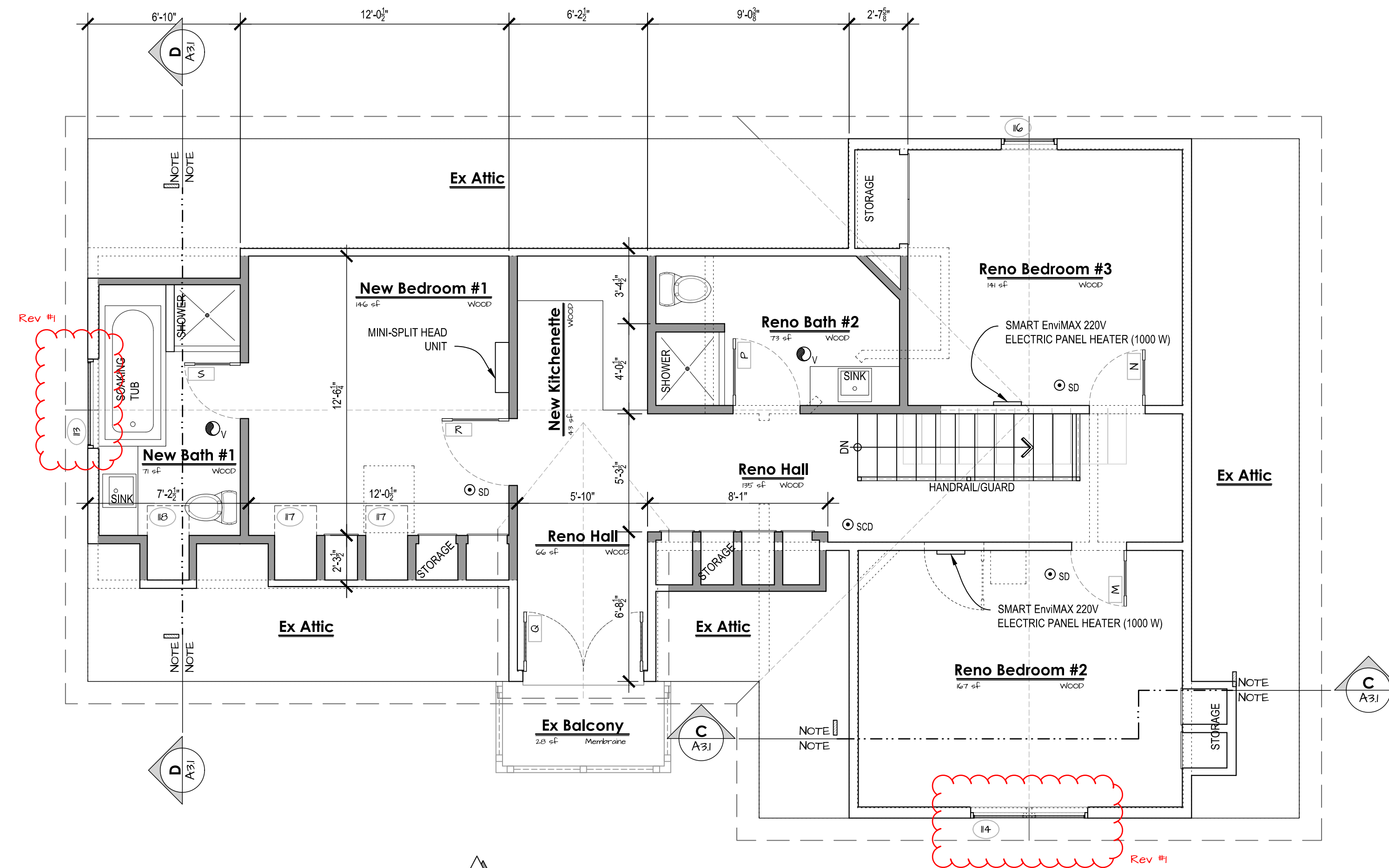
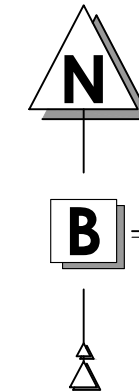
August 14, 2025

A2.0



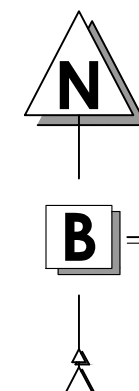
Existing Attic Floor Plan

SCALE: 1/8" = 1'-0"

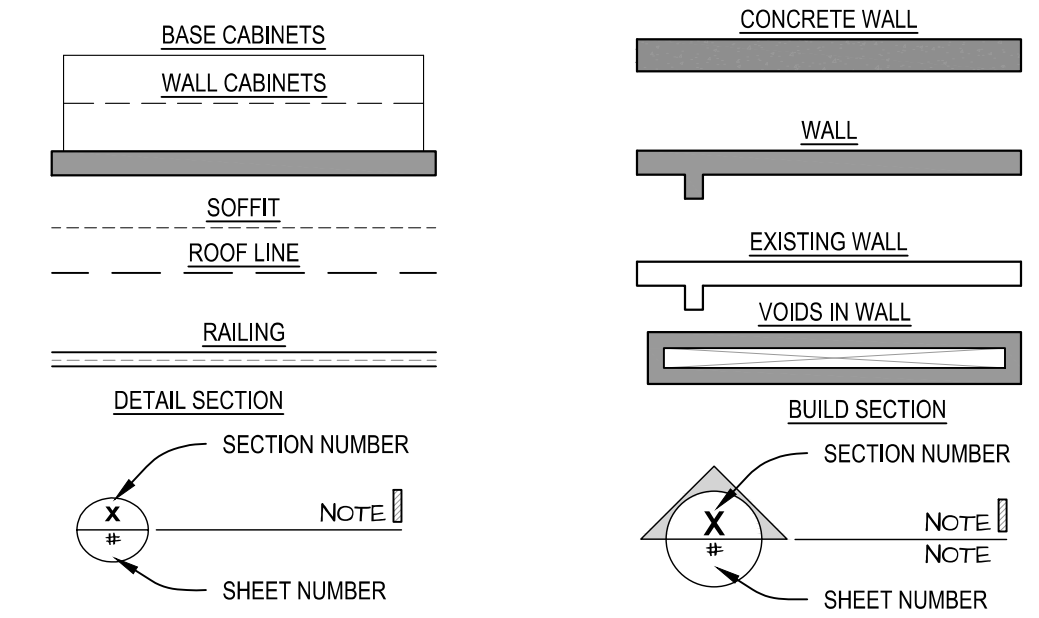


Renovated Attic Floor Plan

SCALE: 1/4" = 1'-0"



Plan Legend



■ Indicates door type. Refer to door schedule on sheet.
 ■■ Indicates window type. Refer to window schedule on sheet.

Area Calculations

Description	Existing Area	Renovated Area
Living Area		
Main Floor		
Living	1,470 sf	1,470 sf
Upper Floor		
Attic	470 sf	0 sf
Living	530 sf	1,000 sf
Total	2,470 sf	2,470 sf
Decks and Patios		
Cover Porches	100 sf	100 sf
Decks	- not present -	500 sf
Balcony (Upper Floor)	30 sf	30 sf
Fenestration Area:		
Present of Living Area:		15.5%
Glazing Area:		240 sf
Door Area:		143 sf

Plan Notes

Dimensions are to the face of rough framing unless indicated. Dimensions to doors and windows are measure to centerline of rough opening. Standard returns for doors, windows and openings adjacent to walls is 4" unless dimension otherwise.
GLAZING: Windows located in hazards location on the plans are noted with SG and require safety glazing. Emergency escape and rescue windows are noted on plans as EG and shall have a window sill height note more than 44" above finished floor, and have a net clear opening of 5.7 sq. ft. with a minimum height of 24" and a minimum width of 20".
BATHTUB AND SHOWERS: Provide Fire stop at all bathtubs and showers. Glazed enclosures shall be safety glazed and have a min of 22" width for openings. If hinge, the door shall swing out from fixture. Provide a non-absorbing wainscot 60" above fixture of fixture and waterproof GWB backing.
GUARDS: Guards at Porches, Balconies, Ramps or Raised Floors are required when adjacent floor or grade is greater than 30". Opening within a guard shall not permit a 4" sphere to pass through. Triangle openings formed by riser, tread and bottom rail of guard shall not permit a 6" sphere cannot pass through.

Window Schedule

Mark	Size	Head Height	QTY	U Value	Description	Room
101	48" x 78"	7'-10"	4	0.25	Pitcher	Ex Family
102	30" x 48"	6'-10"	2	0.25	Shingle Hung	Ex Dining
103	48" x 72"	7'-10"	1	0.25	Shingle Hung	Bedroom #5
104	48" x 72"	7'-10"	1	0.25	Shingle Hung	Ex Parlor
105	48" x 72"	7'-10"	1	0.25	Pitcher	Ex Parlor
106	48" x 72"	7'-10"	1	0.25	Pitcher	Ex Office
107	30" x 72"	7'-10"	1	0.25	Shingle Hung	Ex Office
108	30" x 72"	7'-10"	1	0.25	Shingle Hung	Bath #3
109	30" x 72"	6'-10"	1	0.25	Picture	Ex Kitchen
110	30" x 36"	7'-6"	1	0.25	Glider	Ex Kitchen
112	30" x 48"	7'-6"	1	0.25	Glider	Ex Kitchen
113	48" x 72"	7'-6"	1	0.25	Shingle Hung	New Bath #1
114	48" x 72"	7'-4"	1	0.25	Shingle Hung	Ex Bedroom #2
115	Omitted	--	--	--	--	--
116	30" x 60"	6'-10"	1	0.25	Glider	Ex Bedroom #3
117	Omitted	--	--	--	--	--
118	Omitted	--	--	--	--	--

Door Schedule

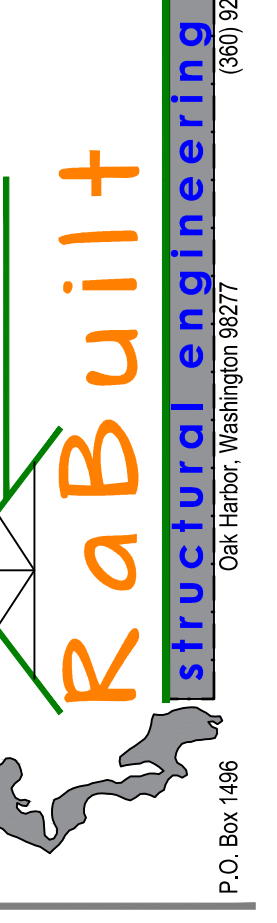
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E	36" x 6'-8"	6'-10"	1	--	RH Swing	Bedroom #5
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 - Replacement of the interior staircase with a new code-compliant assembly.
- Roofing and Insulation**
 - Complete roof replacement, including installation of three new skylights.
 - Addition of 4" rigid foam insulation beneath the roof sheathing.
 - Reinforcement of attic framing to accommodate new roof and skylight loads.
 - Installation of new insulation in all exterior wall cavities per current energy codes.
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REVISIONS
8/14/25
COA Revisions

REVISIONS
25.013
Rev: Temal, Jr. PE
Rev: Temal, Jr. PE
Rev: Temal, Jr. PE
CONSTRUCTION DOCUMENTS
APRIL 16, 2025



1/4" = 1'-0"
Existing Attic Floor Plan
Renovated Attic Floor Plan

Upper Floor
Wanamaker Renovations
Wanamaker Consulting & Mgmt. LLC
4335 West Wanamaker Road
COLEVILLE, WA 98239
(206) 734-8400
DOWM008@GMAIL.COM

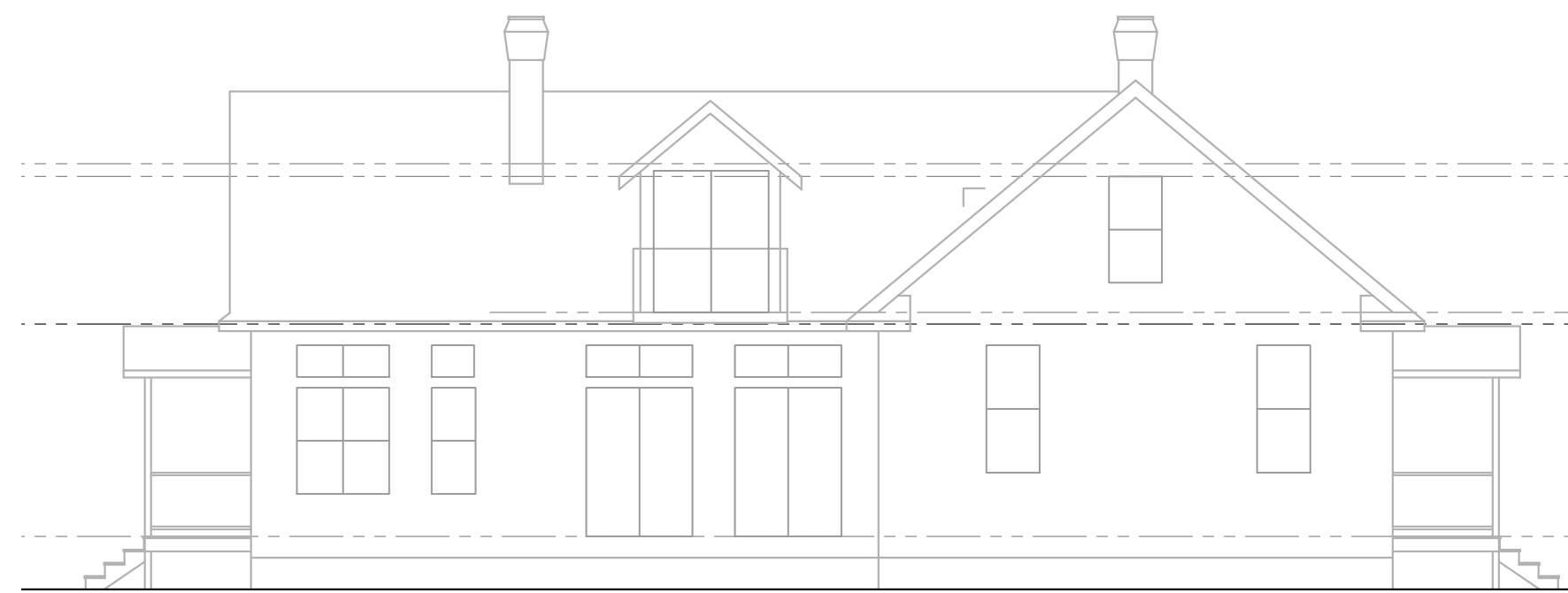
August 14, 2025
DATE

A2.1
SHEET



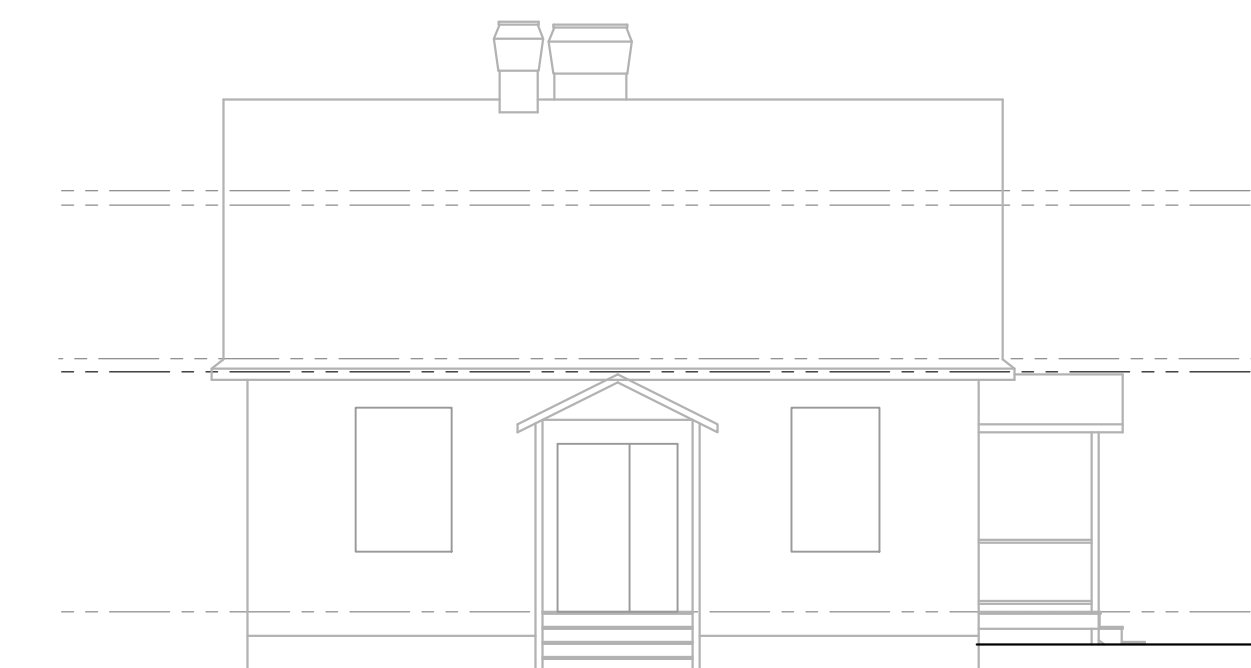
A Existing East Elevation

SCALE: 1/8" = 1'-0"



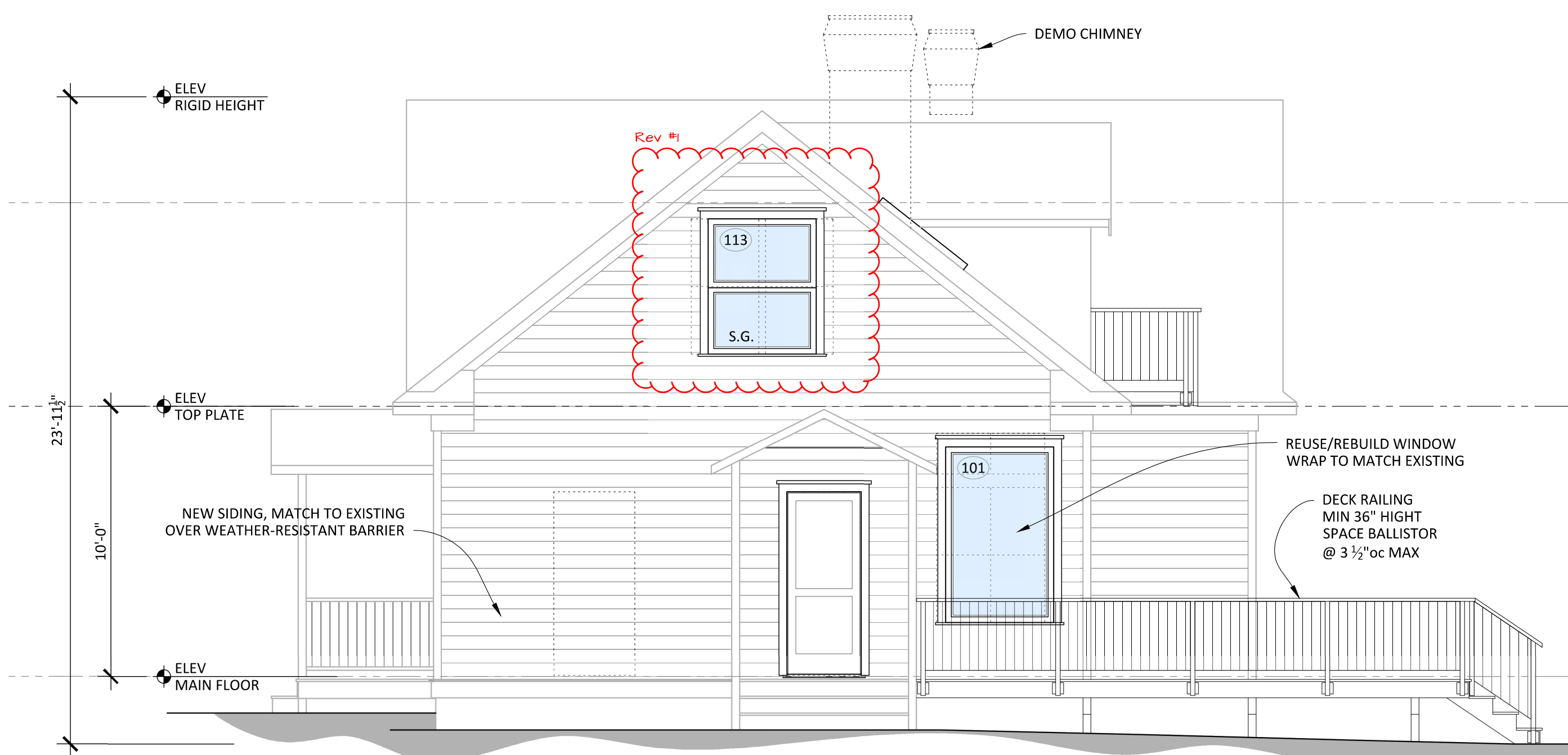
A Existing South Elevation

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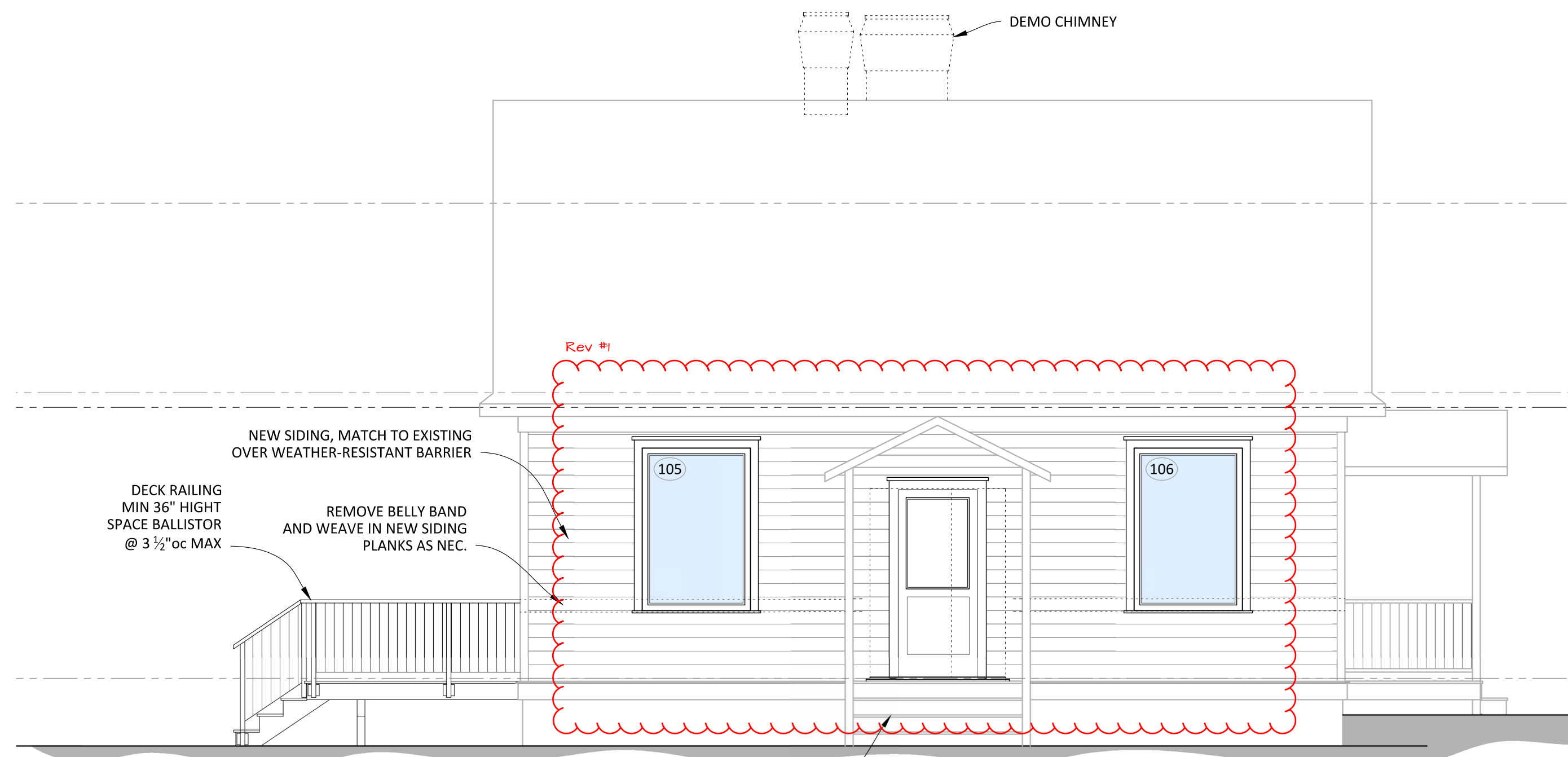
A Existing West Elevation

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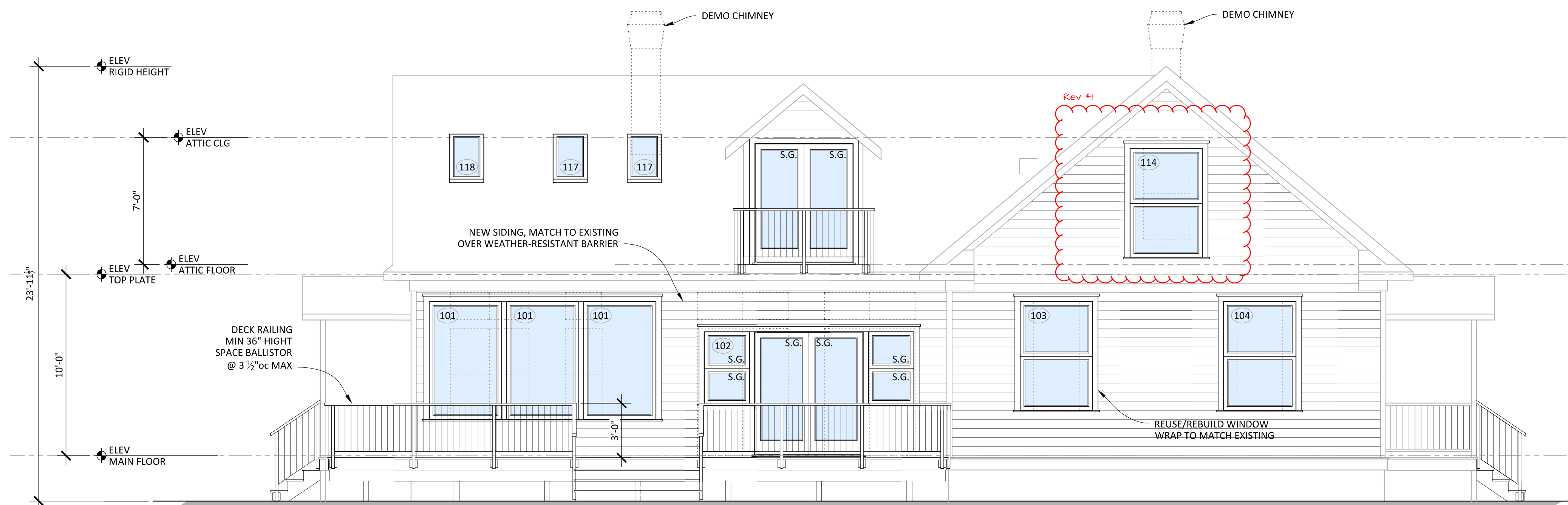
D Proposed West Elevation

SCALE: 1/4" = 1'-0"



E Proposed East Elevation

SCALE: 1/4" = 1'-0"

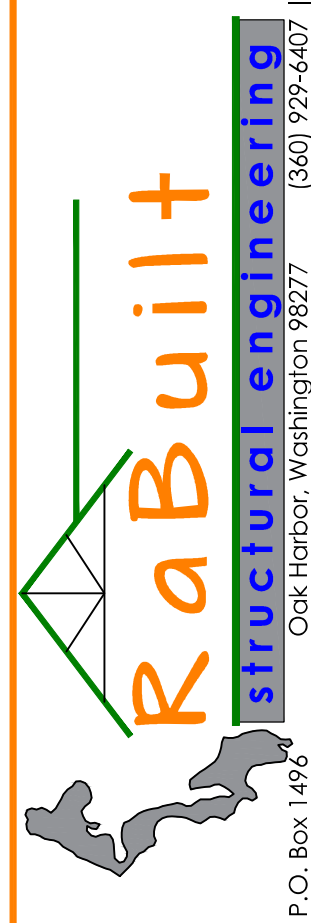


F Proposed South Elevation

SCALE: 1/4" = 1'-0"

REVISIONS

8/14/25	COA Revisions
25-xxx	Roy Fernald, Jr. PE
	Roy Fernald, Jr. PE
	CONSTRUCTION DOCUMENTS
	APRIL 16, 2025



3/4" = 1'-0"
 Existing East, South & West Elevations
 Proposed East, South & West Elevations

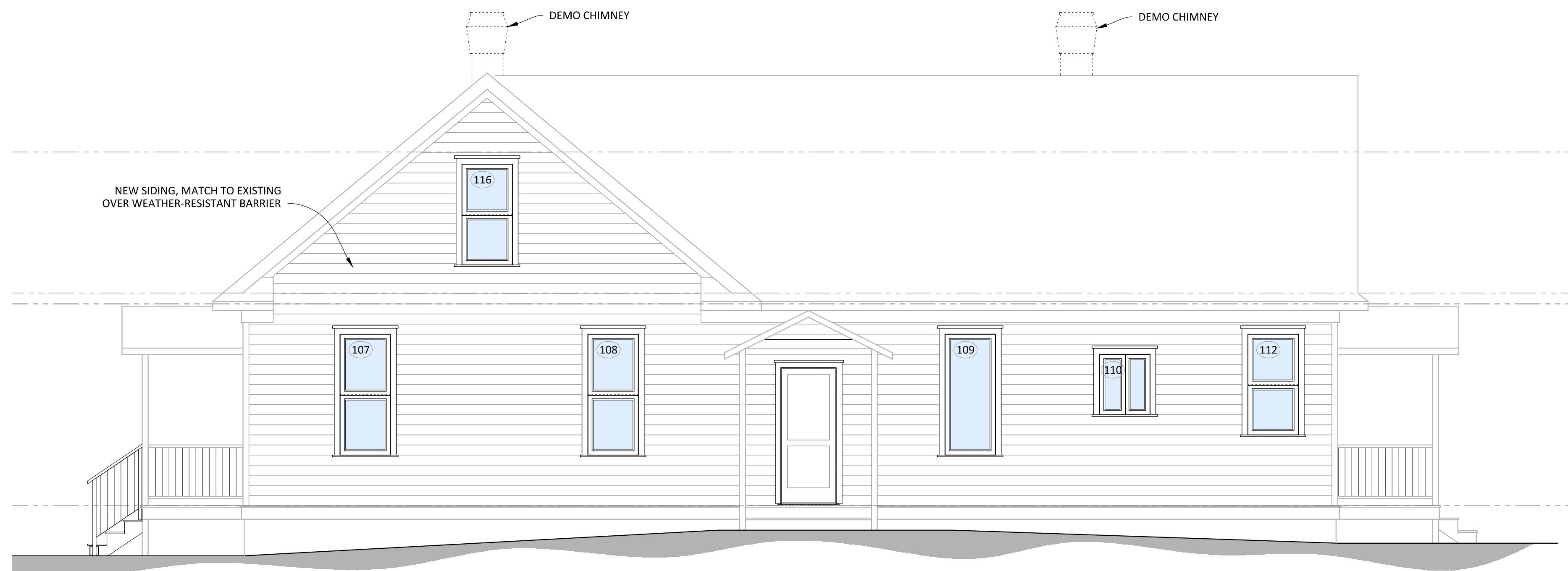
Elevations
 THOMPSON RESIDENCE
 ANDREW THOMPSON
 3011 NE 9TH AVE
 SUITE 200
 COUPEVILLE, WA 98239
 (206) 734-8400
 DOWNWOOD@GMAIL.COM

August 14, 2025
 DATE

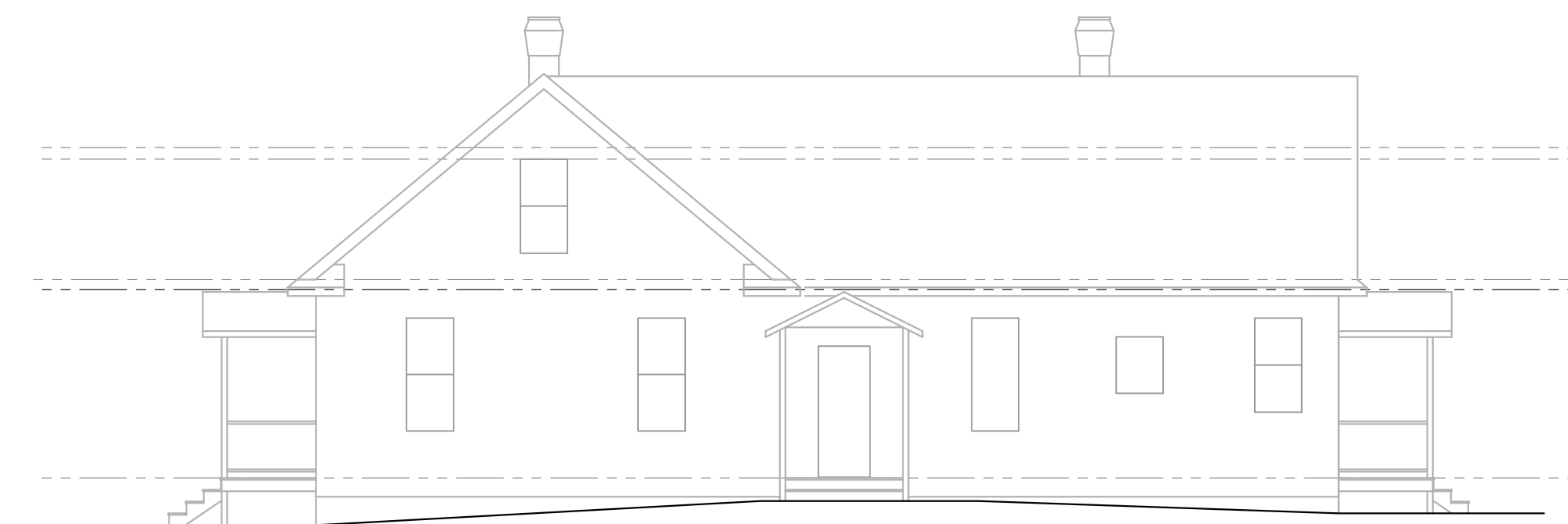
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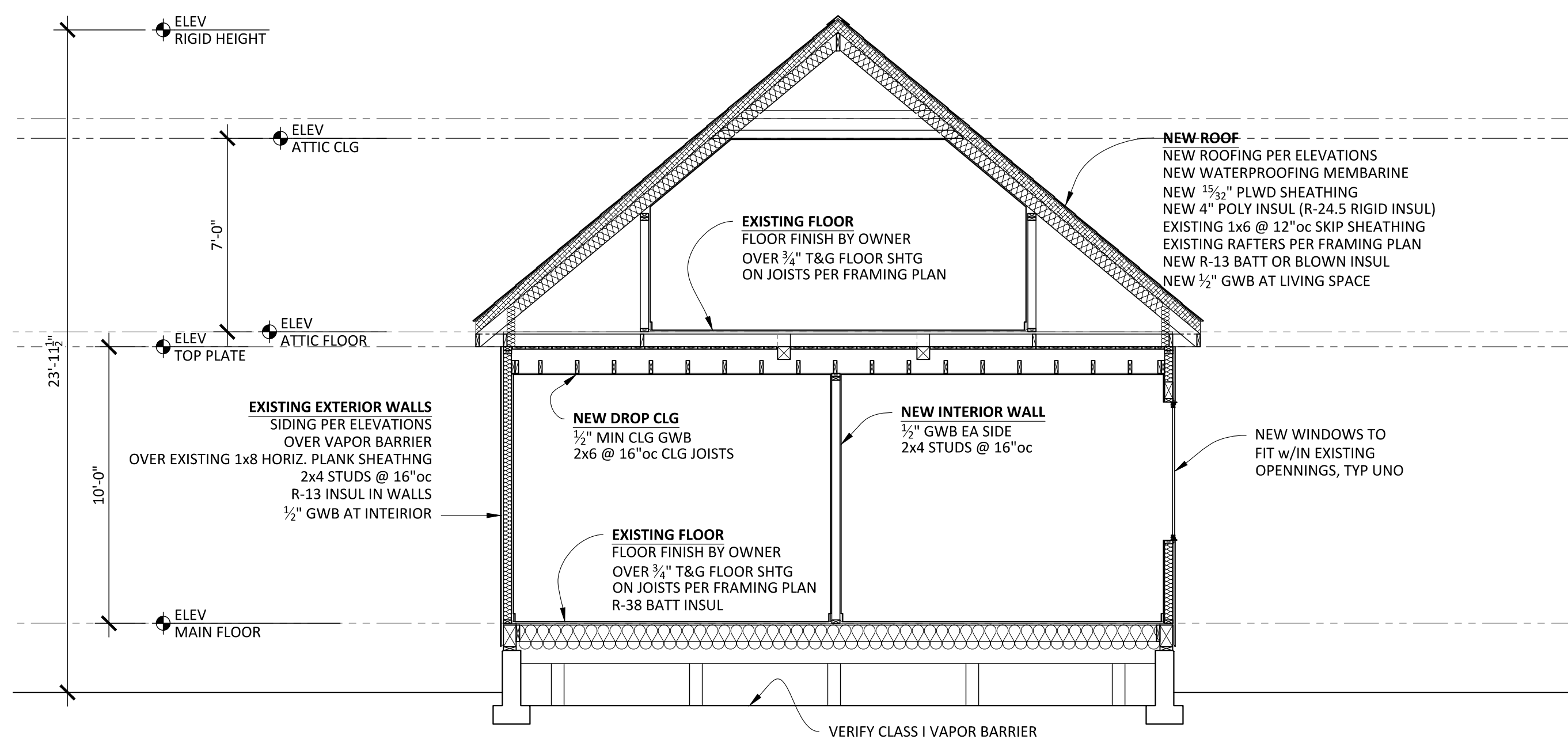
3/16/2025



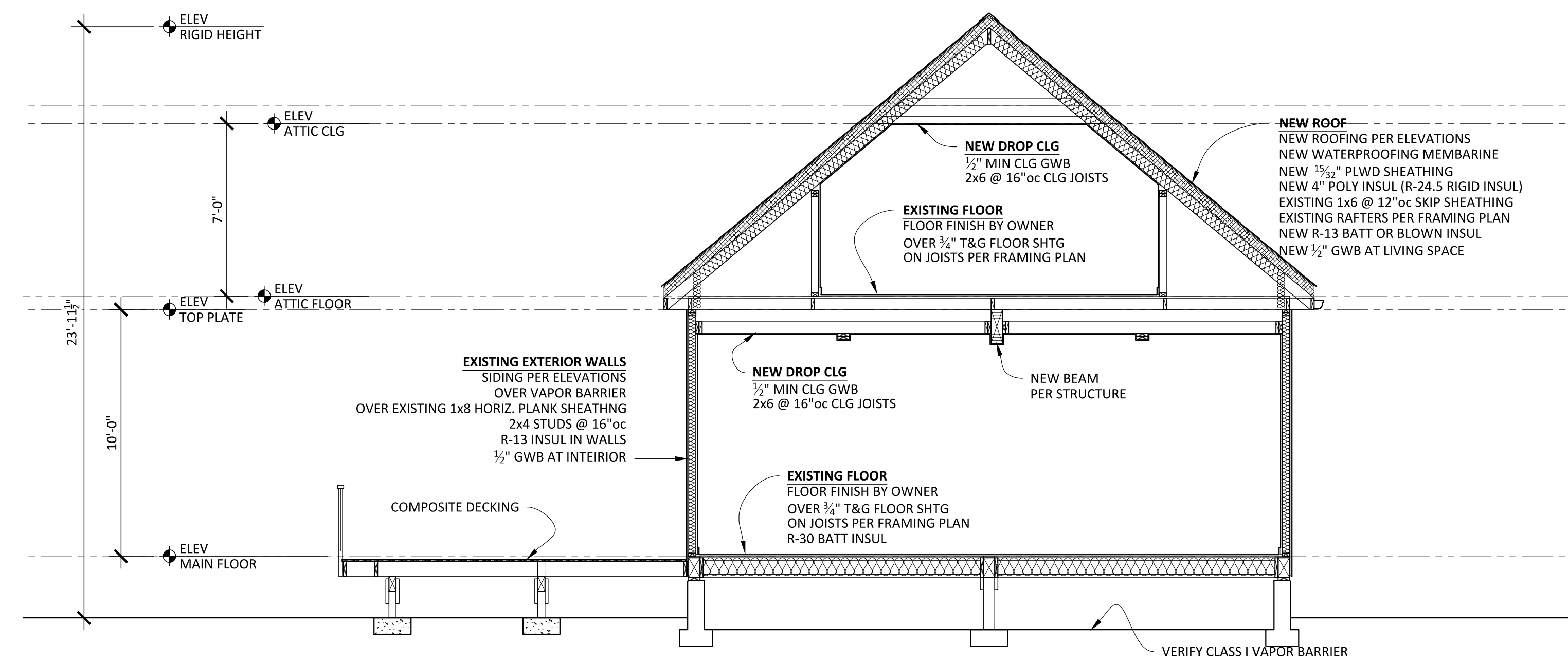
A Proposed North Elevation
SCALE: 1/4" = 1'-0"



B Existing North Elevation
SCALE: 1/8" = 1'-0"



C Proposed South Wing Section
SCALE: 1/4" = 1'-0"



D Proposed West Wing Section
SCALE: 1/4" = 1'-0"

REVISIONS

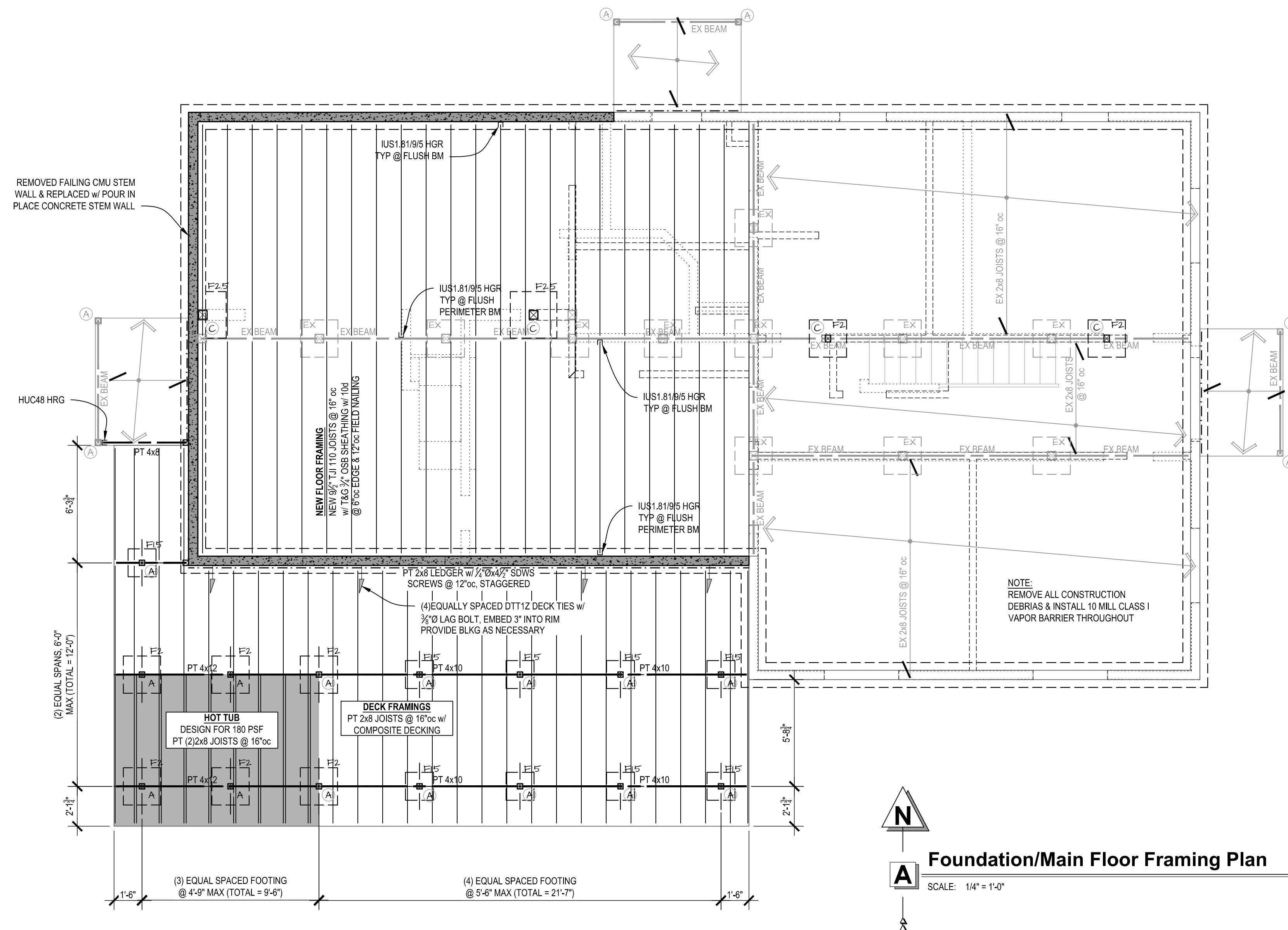
25-xxx	Rev: Jemal, Jr. PE
8/17/25	COA Revisions
REVISIONS	
25-xxx	Rev: Jemal, Jr. PE
8/17/25	COA Revisions
CONSTRUCTION DOCUMENTS	
APRIL 18, 2025	

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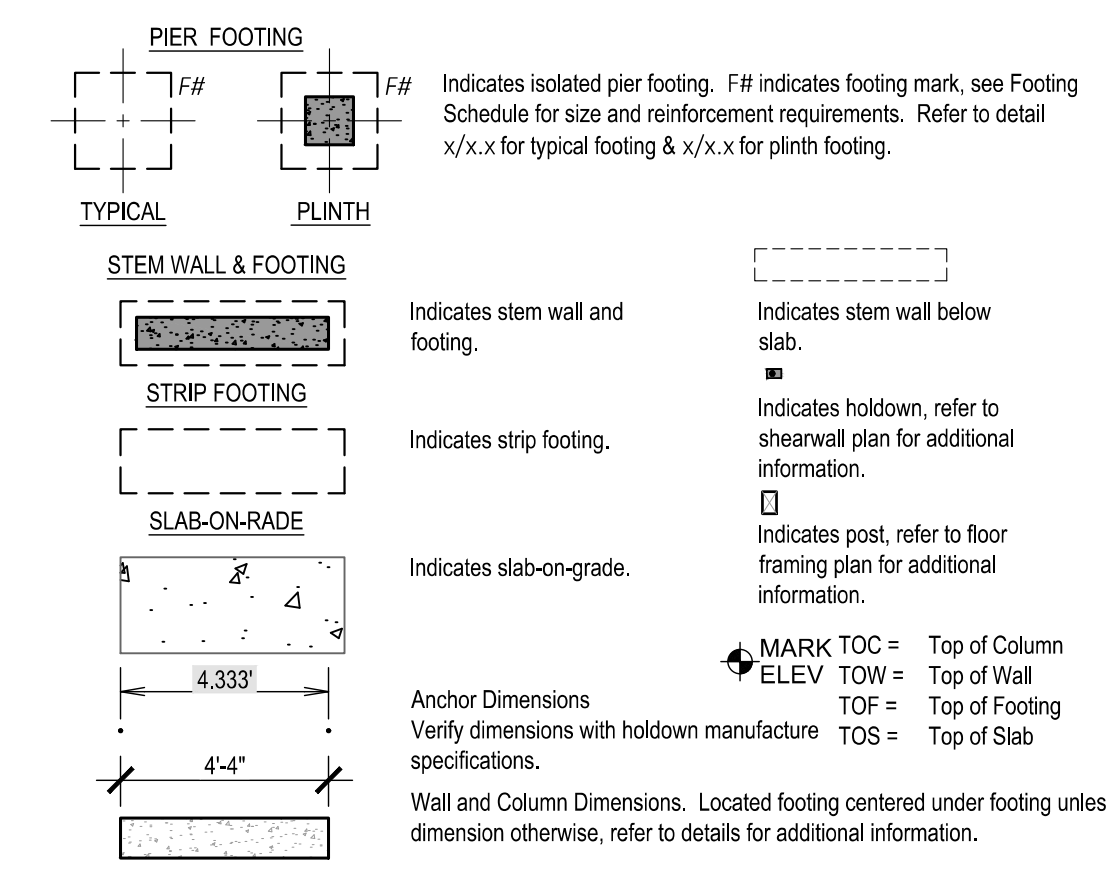
Proposed & Existing North Elevation
Building Section C-C & D-D
3/4" = 1'-0"

Wanamaker_Elev.dwg
3/16/2025



Foundation/Main Floor Framing Plan
SCALE: 1/4" = 1'-0"

Foundation Plan Legend

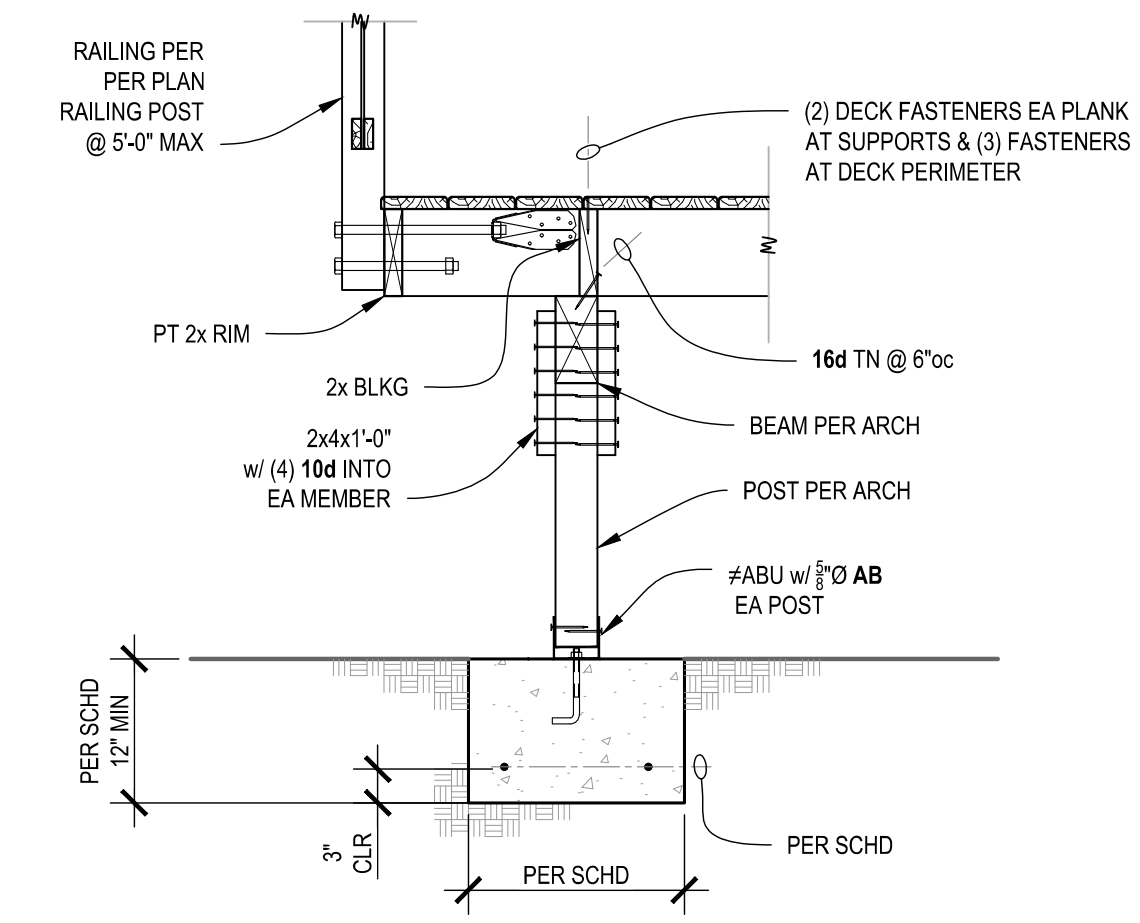


Footing Schedule

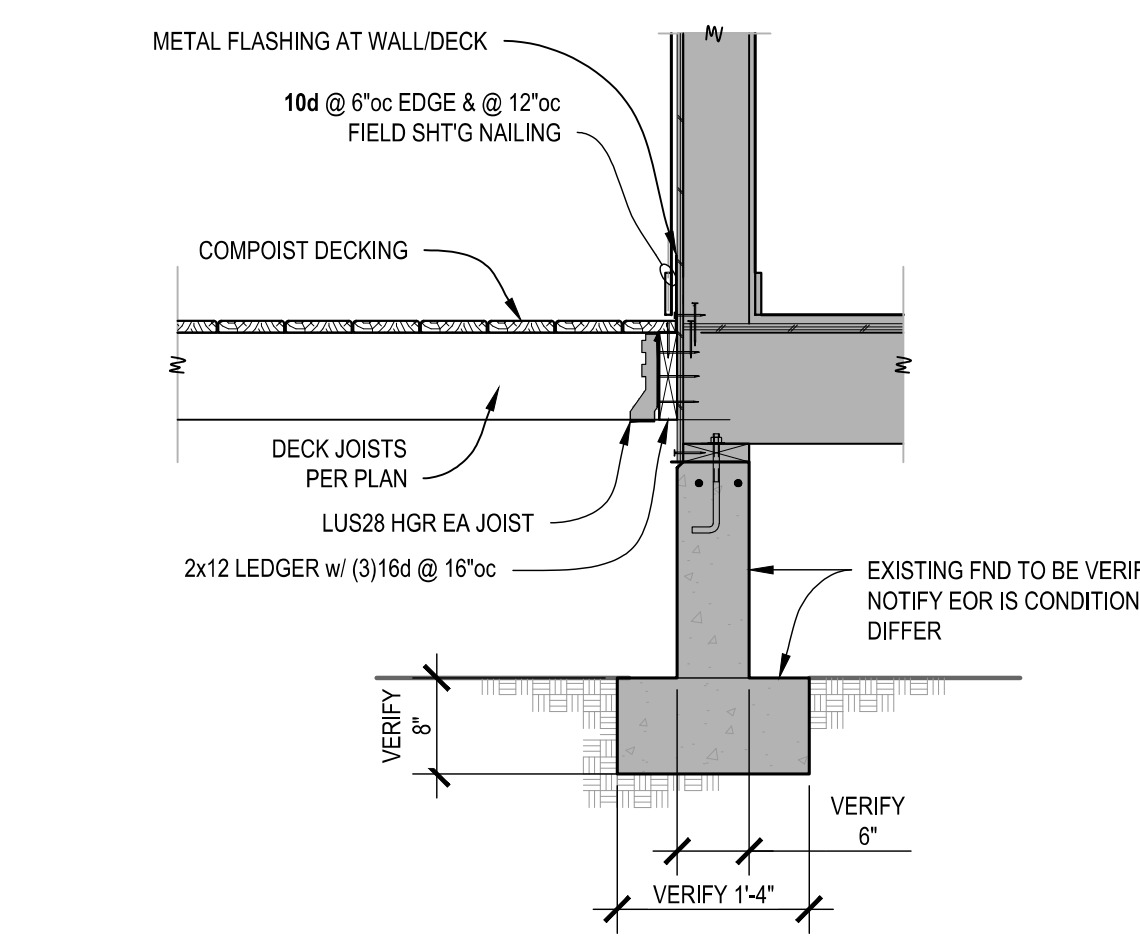
MARK	SIZE	DEPT	REINFORCEMENT	BEARING CAPACITY
F1.5	1'-6" x 1'-6"	10"	(2) #4 EA WAY	3.4 kips
F2	2'-0" x 2'-0"	10"	(3) #4 EA WAY	6.0 kips

Foundation Plan Notes

- Do not scale the drawings. Refer to architectural drawings for all dimensions.
- Provide footing drains around the perimeter of the building.
- Footing are to bear on competent native soil or structural fill capable of supporting the allowable bearing pressure of 2,000 psf.
- The bottom of all exterior footing shall be located 1'-6" below finished grade.
- Step footing as necessary to maintain minimum footing depth. Refer to detail ## for footing step requirements.
- Provide #4 corner bars with 2'-0" legs at each horizontal bar unless noted otherwise on the plans.
- Refer to detail ## for rebar bending requirements.
- See the General Notes for Additional requirements.



15 Deck Footing
Scale: 3/4" = 1'-0"



20 Deck Ledger
Scale: 3/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
25.013	8/14/25	COA Revisions

25.013
Revised by: Tommi, Jr. PE
Checked by: Tommi, Jr. PE
Date: APRIL 16, 2025
PROJECT: CONSTRUCTION DOCUMENTS
DRAWING NO.: 25.013

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Oak Harbor, WA 98277

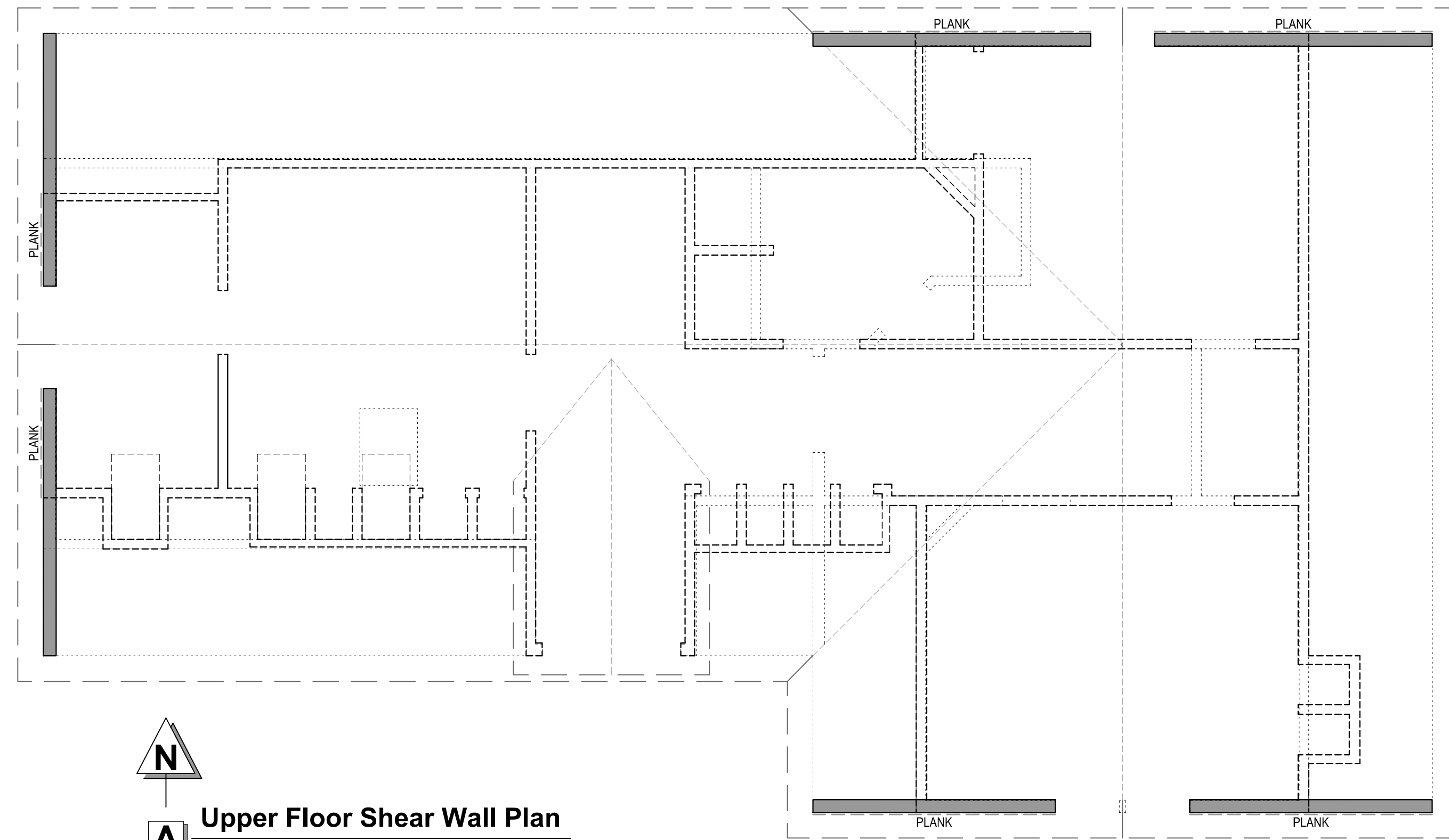
PE
Tommi, Jr. PE
2025 License No. 2500000700

1/4" = 1'-0"
Foundation/Main Floor Plan
Framing

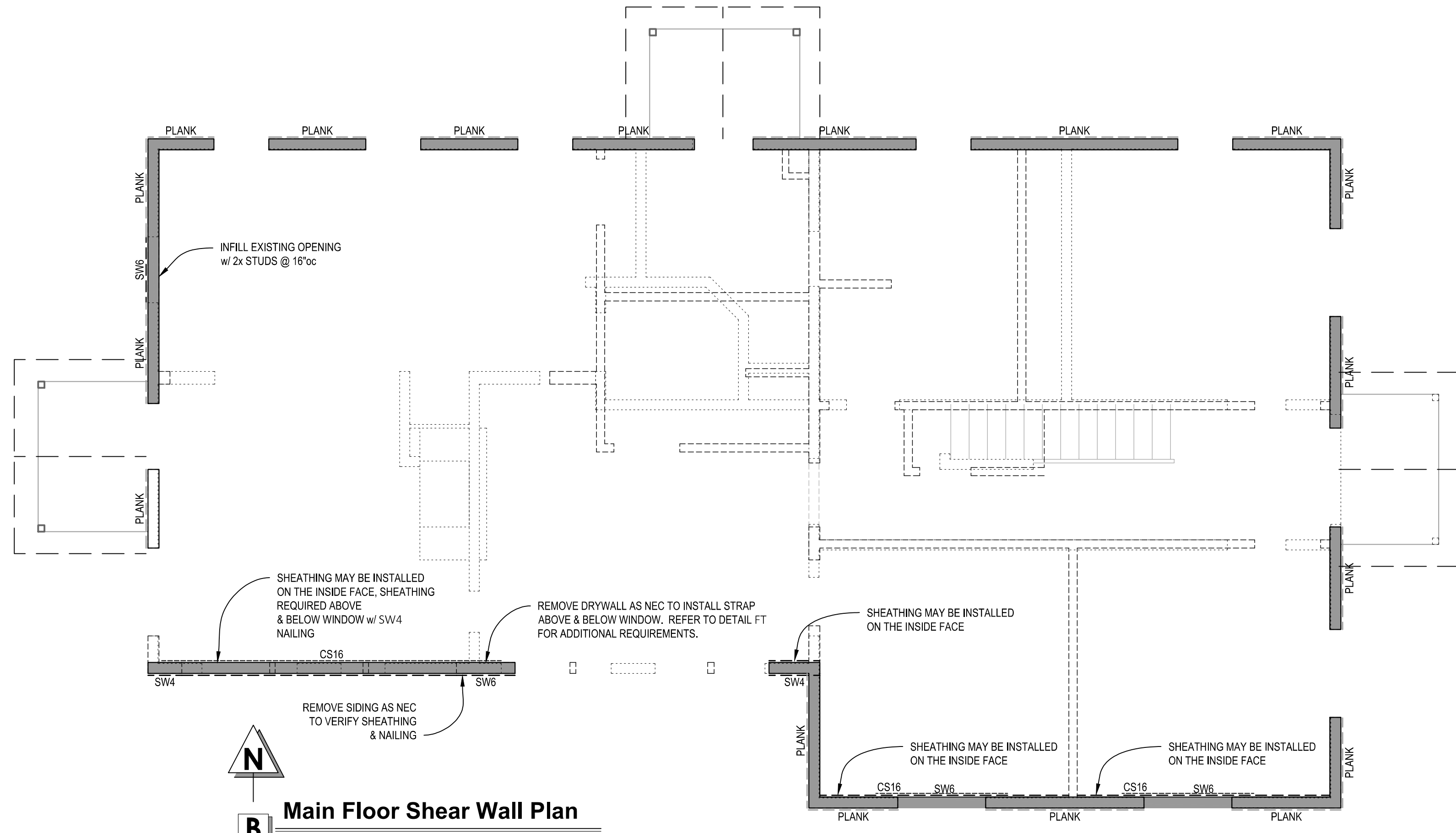
Foundation Plan
Wanamaker Renovations
Wood Consulting & Mgmt. LLC
435 West Wanamaker Road
Cottageville, WA 98239
(206) 734-8400
DOAWOOD@GMAIL.COM

August 14, 2025
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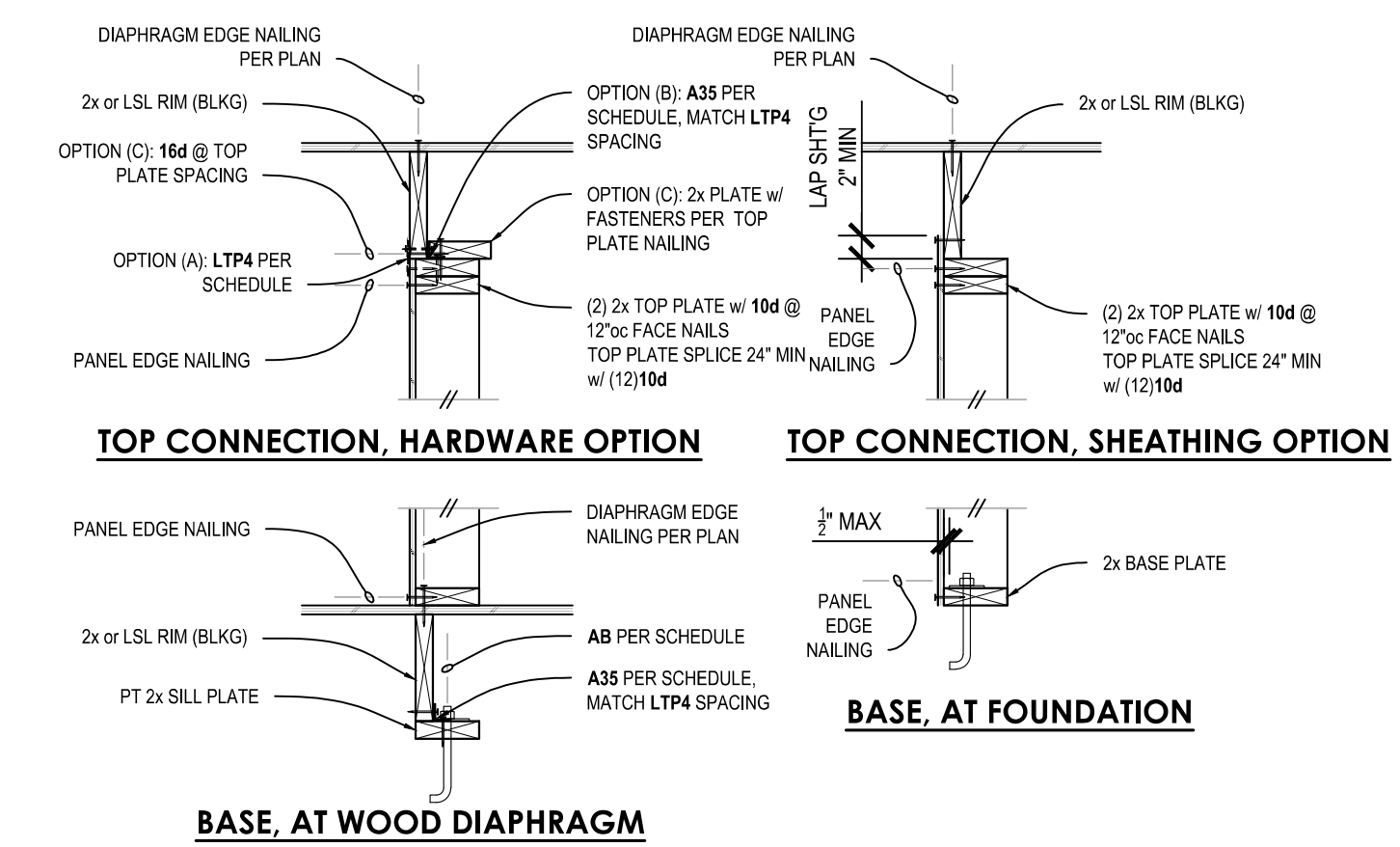
S2.1
SHEET



Upper Floor Shear Wall Plan
SCALE: 1/4" = 1'-0"



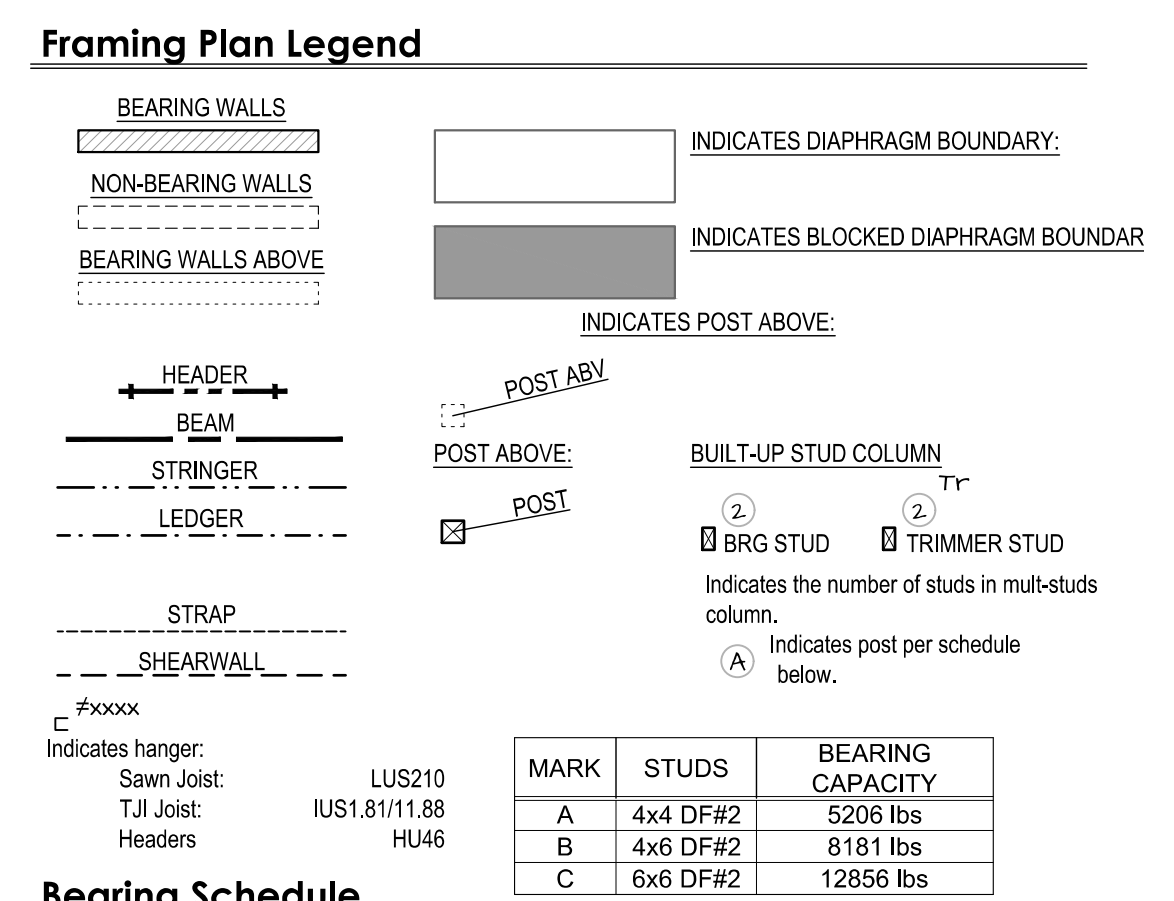
Main Floor Shear Wall Plan
SCALE: 1/4" = 1'-0"



Shear Wall Schedule

Mark	Sheathing	Sheathing Nailing			Top Plate		Base Plate			
		Nail	Edge	Field	Nail Spacing	Hardware	Fasteners	Spacing	Anchor	Spaci
PLANK	1x8 HORIZ SHEATHING	8d (4) Nails	(3) Nails	16d @ 6"oc	LTP4 @ 24"oc	16d @ 6"oc	LTP4 @ 24"oc	16d @ 6"oc	1/2"Ø A.B. @ 48"	
SW6	3/8" OSB Sheathing One Side	8d @ 6"oc	@ 12"oc	16d @ 6"oc	LTP4 @ 24"oc	16d @ 6"oc	LTP4 @ 24"oc	16d @ 6"oc	1/2"Ø A.B. @ 48"	
SW4	3/8" OSB Sheathing One Side	8d @ 4"oc	@ 12"oc	16d @ 3"oc	LTP4 @ 16"oc	16d @ 4"oc	LTP4 @ 16"oc	16d @ 4"oc	3/8"Ø A.B. @ 32"	
SW3	3/8" OSB Sheathing One Side	8d @ 3"oc	@ 12"oc	16d @ 2"oc	LTP4 @ 12"oc	(2)ROW 16d @ 6"oc	LTP4 @ 12"oc	16d @ 6"oc	3/8"Ø A.B. @ 24"	
SW2	3/8" OSB Sheathing One Side	8d @ 2"oc	@ 12"oc	--	LTP4 @ 8"oc	1/2"x6" SDWS @ 4"oc	LTP4 @ 8"oc	16d @ 4"oc	3/8"Ø A.B. @ 16"	

- Wood structural panels shall conform to the requirements in DOC PS 1 or PS 2.
- All framing members are to be 2" nominal or greater, less noted otherwise.
- Provide 2x4 flat-wise blocking and panel edge nailing per schedule at all unsupported panel edges.
- Nails to be located at least 3/8" from panel edges.
- The shaded shear walls above require (2)2x studs at all abutting panel edges nailed together using Top Plate nailing. Stagger shear wall panel nailing relative to adjacent panel.
- Provide 0.229"x3"x3" galvanized plate washer for each anchor bolt. Plate washer to be located within 1/2" from the sheathing side of the wall.
- PLANK are for existing conditions only. Do not use for any new construction. All new exterior sheathing shall be SW6 or better unless noted otherwise on the drawings. Infill of existing openings shall also be sheathing and nailed per SW6.



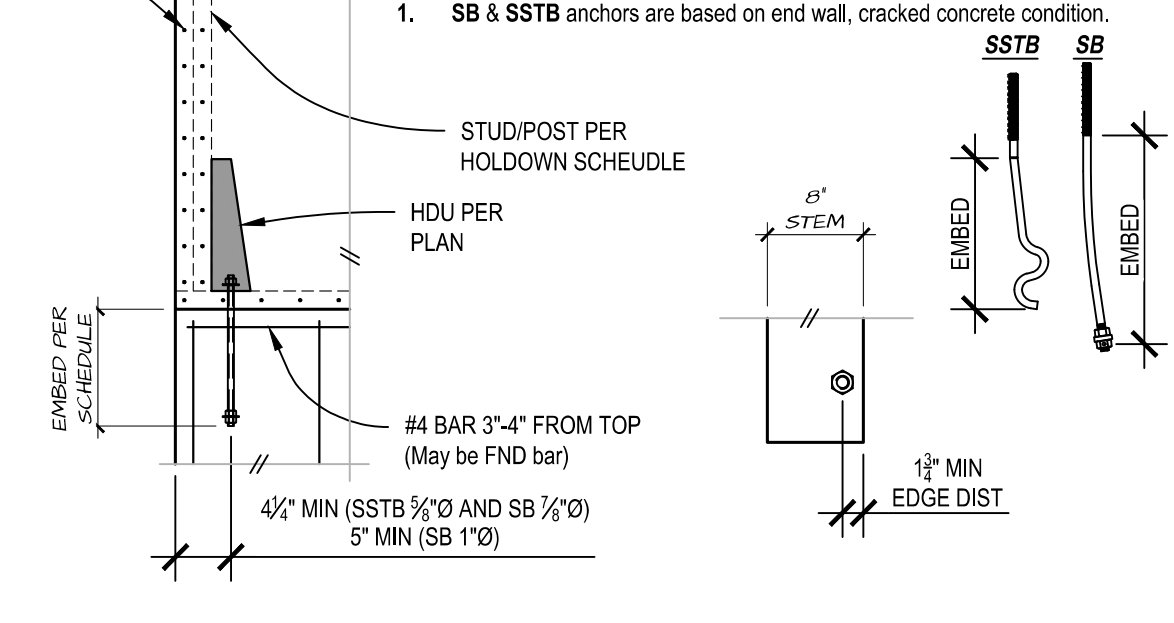
Bearing Schedule

MARK	STUDS	SPACING	BEARING CAPACITY
Exterior 2x6	2x6 HF#2	@ 16"o.c.	3340 lbs
Exterior 2x4	2x4 HF#2	@ 16"o.c.	1720 lbs
Interior 2x6	2x6 HF#2	@ 16"o.c.	3340 lbs
Interior 2x4	2x4 HF#2	@ 16"o.c.	1943 lbs

- Framing Plan Notes**
- Do not scale the drawings. Refer to architectural drawings for all dimensions.
 - All exterior walls shall be sheathe with minimum 3/8" sheathing with 8d @ 6"o.c. panel edge nailing and 8d @ 12"o.c. panel field nailing, unless noted otherwise on the drawings.
 - All LVL, LSL, and PSL to be flush framing. Match depth to joint unless noted otherwise on the drawings.
 - Provide A35 from beam to plate at all flush beams.
 - All header to be 4x6 DF#2 unless noted otherwise.
 - Provide solid blocking in floor space below all 4x, 6x and multi-stud post that do not bear on flush beams.
 - Refer to the General Structural Notes for additional information.

HDU Holddown Schedule

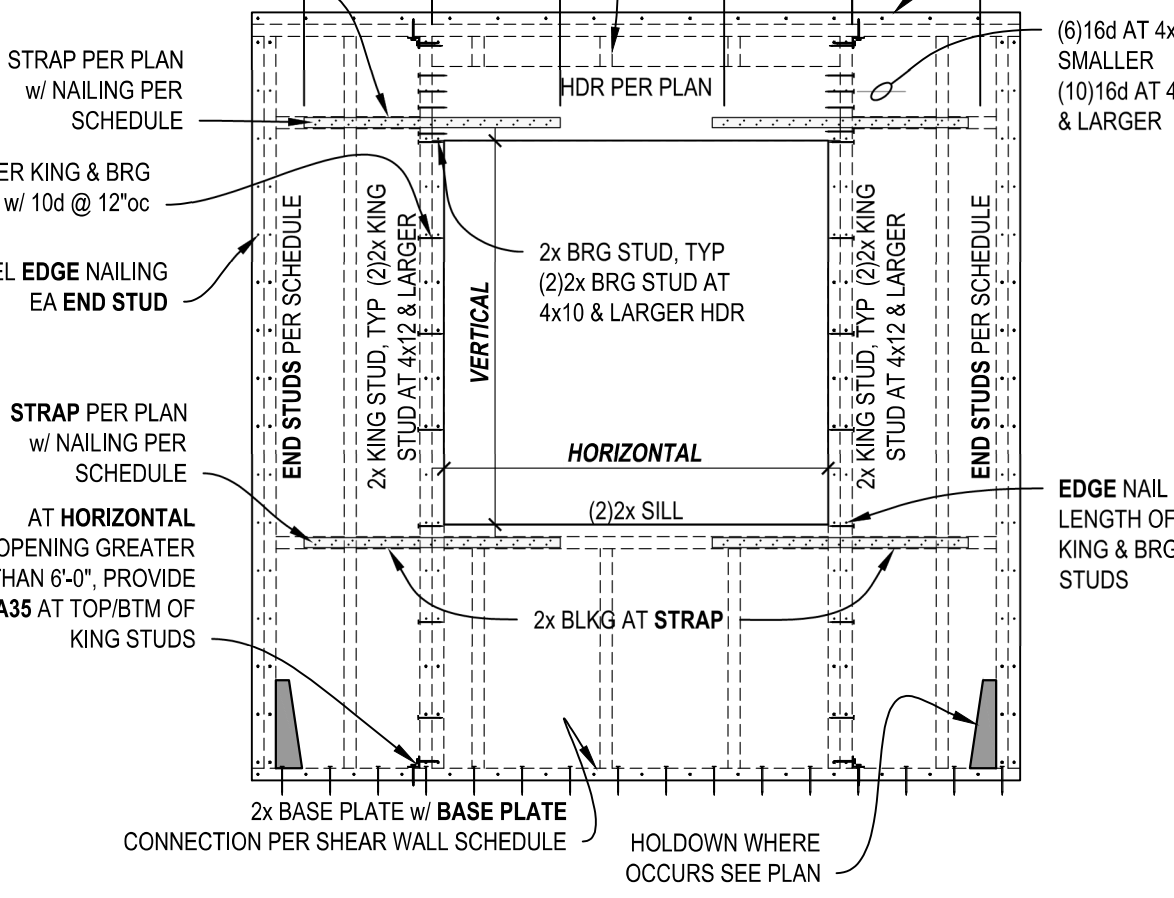
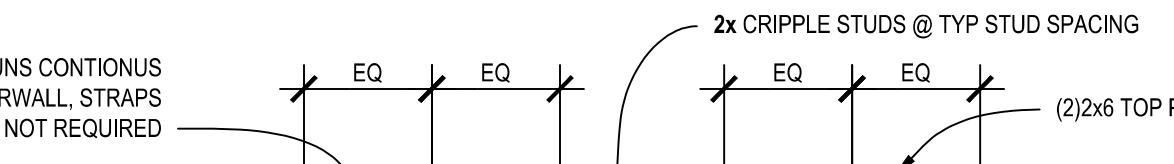
Mark	Model	Anchor Bolt	SDS Screw	Post
HDU2	SSTB 1"Øx16"	Embed 12"	(6) 1/2"Øx2"	(2) 2x Stu
HDU4	SSTB 1"Øx20"	Embed 16"	(10) 1/2"Øx2"	(2) 2x Stu
HDU5	SSTB 1"Øx24"	Embed 20"	(14) 1/2"Øx2"	(2) 2x Stu
HDU8	SB 1"Øx24"	Embed 18"	(20) 1/2"Øx2"	(3) 2x Stu
HDU11	SB 1"Øx30"	Embed 24"	(30) 1/2"Øx2"	6x6 Pos



HDU Holddown Detail
Scale: 3/4" = 1'-0"

Strap at Opening

Model	LENGTH	QTY	FASTENERS	BLKG CAPACITY
CS18	2'-0" MIN	(18)	1/2"Øx2"	2x 1,370
CS16	2'-10" MIN	(26)	1/2"Øx2"	2x 1,705
CS14	3'-4" MIN	(36)	1/2"Øx2"	2x 2,490
CS12C	3'-4" MIN	(48)	1/2"Øx2"	(2)2x 4,690
CS11A	4'-8" MIN	(56)	1/2"Øx2"	(2)2x 6,475

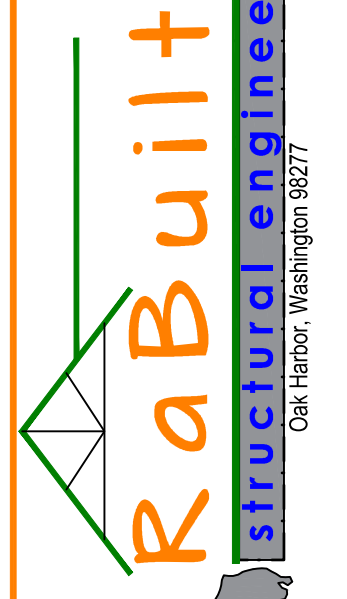


FT FTO Detail at Opening

REVISIONS
8/14/25
COA Revisions

25.013
Raymond, Jr. PE
8/14/25
Raymond, Jr. PE
8/14/25
CONSTRUCTION DOCUMENTS
APRIL 16, 2025

(86) 326-4407 | ray@rabuilt.com
Oak Harbor, Washington 98277



P.O. Box 488
Raymond, WA 98277

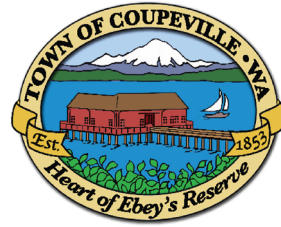


Attic Floor Shear Wall Plan,
Main Floor Shear Wall Plan,
Permits & Shear Wall
Schedule
1/4" = 1'-0"

Wanamaker Renovations
Wanamaker Consulting & Mgmt. LLC
433 West Wanamaker Road
COLEVILLE, WA 98239
(206) 734-8400

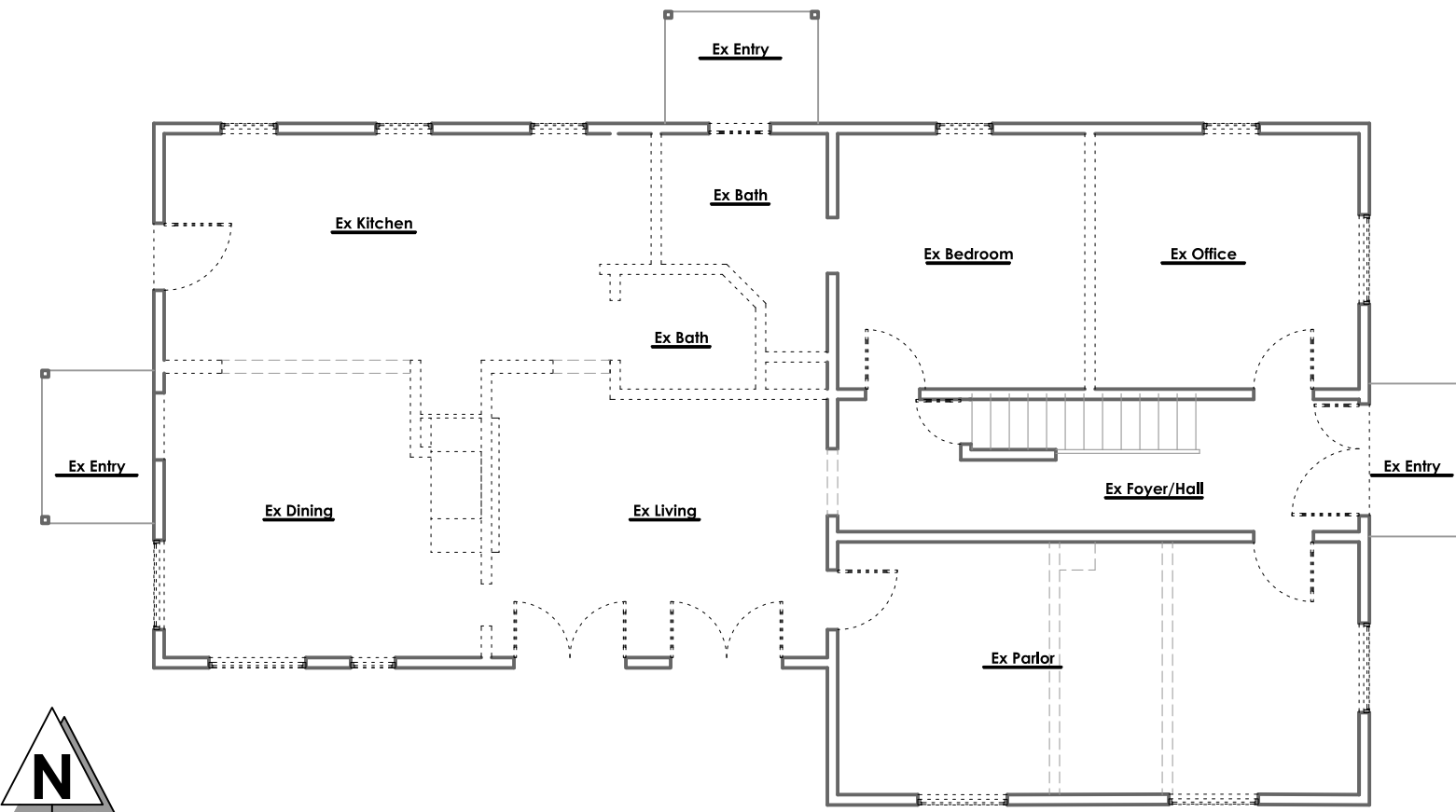
DOANWOOD@GMAIL.COM

August 14, 2025



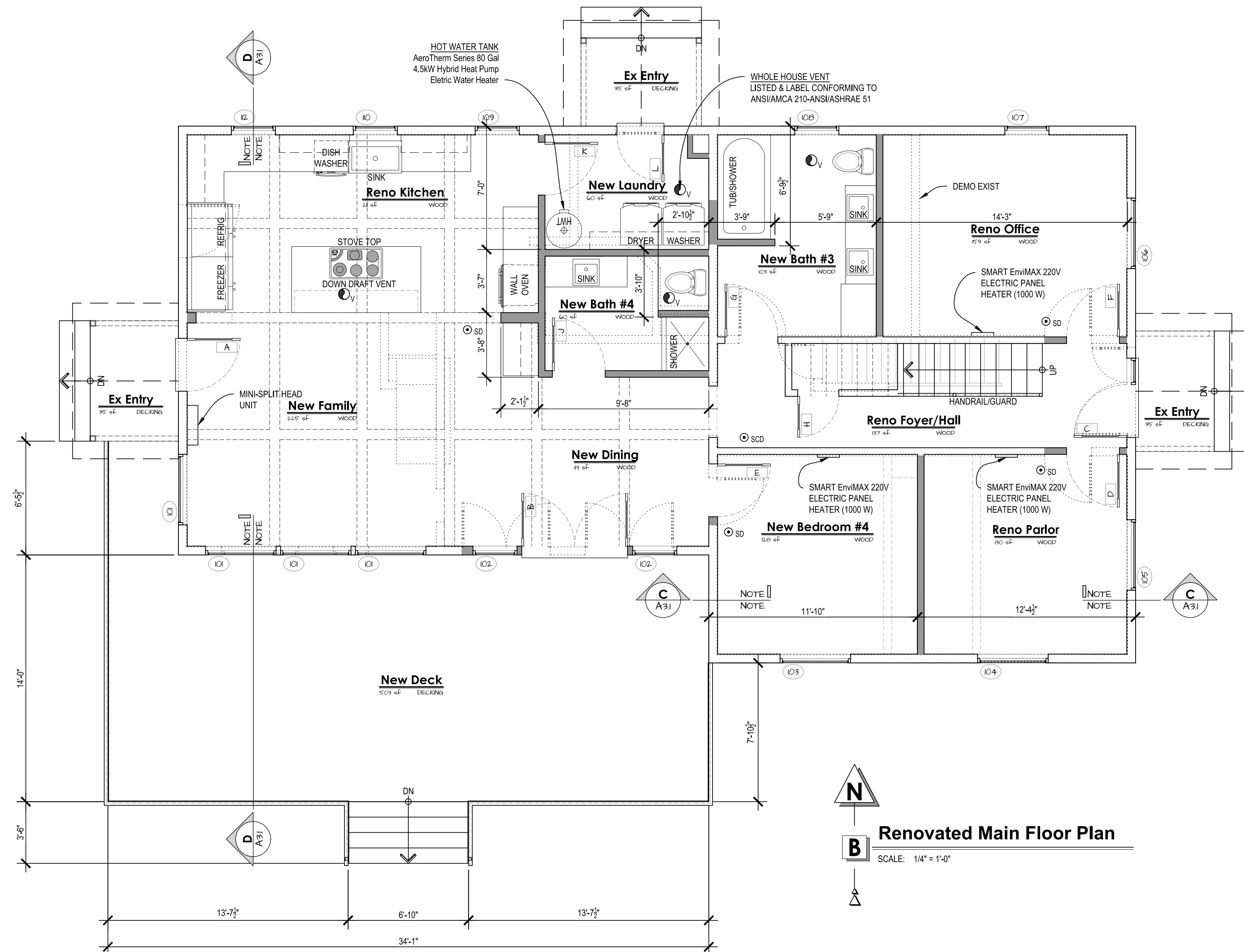
EBY-25-023: WOOD – AFTER-THE-FACT REMODEL

ATTACHMENT B: PREVIOUS ELEVATION PLANS, APPROVED JULY 24, 2025



A Existing Main Floor Plan

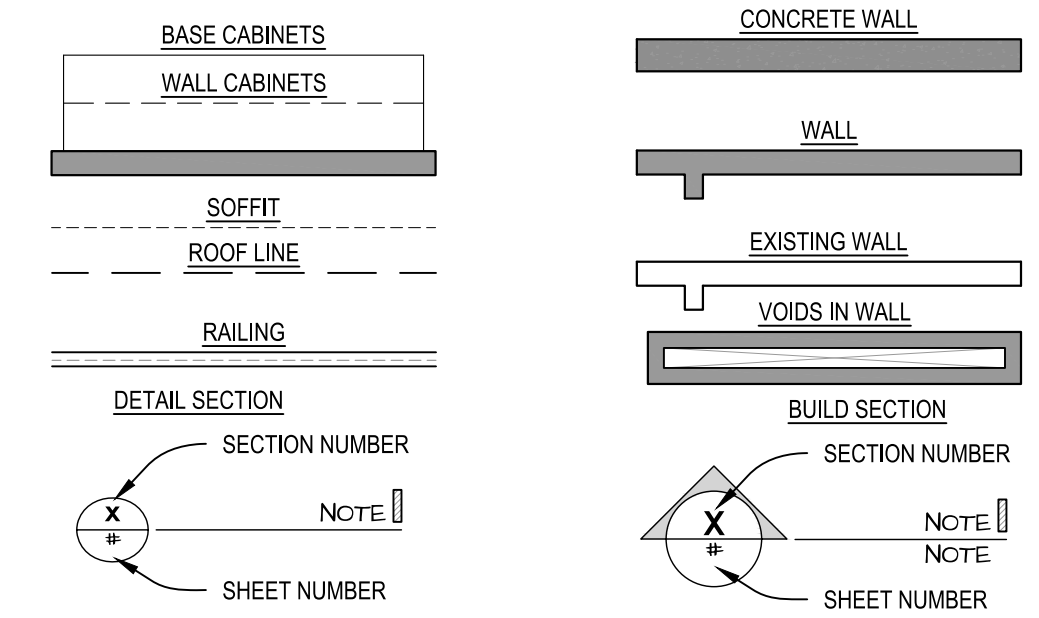
SCALE: 1/8" = 1'-0"



B Renovated Main Floor Plan

SCALE: 1/4" = 1'-0"

Plan Legend



Area Calculations

Description	Existing Area	Renovated Area
Living Area		
Main Floor		
Living	1,470 sf	1,470 sf
Upper Floor		
Attic	470 sf	0 sf
Living	530 sf	1,000 sf
Total	2,470 sf	2,470 sf
Decks and Patios		
Cover Porches	100 sf	100 sf
Decks	- not present -	500 sf
Balcony (Upper Floor)	30 sf	30 sf
Fenestration Area:		
Percent of Living Area:		15.5%
Glazing Area:		240 sf
Door Area:		143 sf

Plan Notes

Dimensions are to the face of rough framing unless indicated. Dimensions to doors and windows are measure to centerline of rough opening. Standard returns for doors, windows and openings adjacent to walls is 4" unless dimension otherwise.

GLAZING: Windows located in hazardous location on the plans are noted with SG and require safety glazing. Emergency escape and rescue windows are noted on plans as EG and shall have a window sill height note more than 44" above finished floor, and have a net clear opening of 5.7 sq. ft. with a minimum height of 24" and a minimum width of 20".

BATHTUB AND SHOWERS: Provide Fire stop at all bathtubs and showers. Glazed enclosures shall be safety glazed and have a min of 22" width for openings. If hinge, the door shall swing out from fixture. Provide a non-absorbing wainscot 60" above fixture and waterproof GWB backing.

GUARDS: Guards at Porches, Balconies, Ramps or Raised Floors are required when adjacent floor or grade is greater than 30". Opening within a guard shall not permit a 4" sphere to pass through. Triangle openings formed by riser, tread and bottom rail of guard shall not permit a 6" sphere cannot pass through.

Window Schedule

Mark	Size	Head Height	QTY	U Value	Description	Room
101	48" x 78"	7'-10"	4	0.25	Pitcher	Ex Family
102	30" x 48"	6'-10"	2	0.25	Shingle Hung	Ex Dining
103	48" x 72"	7'-10"	1	0.25	Shingle Hung	Bedroom #5
104	48" x 72"	7'-10"	1	0.25	Shingle Hung	Ex Parlor
105	48" x 60"	7'-10"	1	0.25	Pitcher	Ex Parlor
106	48" x 60"	7'-10"	1	0.25	Pitcher	Ex Office
107	30" x 72"	7'-10"	1	0.25	Shingle Hung	Ex Office
108	30" x 72"	7'-10"	1	0.25	Shingle Hung	Bath #3
109	30" x 72"	6'-10"	1	0.25	Picture	Ex Kitchen
110	30" x 36"	7'-6"	1	0.25	Glider	Ex Kitchen
112	30" x 48"	7'-6"	1	0.25	Glider	Ex Kitchen
113	24" x 24"	6'-10"	1	0.25	Style	Room
114	42" x 36"	6'-10"	1	0.25	Glider	Ex Bedroom #2
115	42" x 36"	12'-0"	1	0.25	Trap, Pitcher	Ex Bedroom #2
116	30" x 60"	6'-10"	1	0.25	Glider	Ex Bedroom #3
117	24" x 48"	Roof	2	0.25	Sky Light	New Bedroom #1
118	24" x 48"	Roof	1	0.25	Sky Light	New Bath #1

Door Schedule

Mark	Size	Head Height	QTY	U-Value	Description	Room
A	36" x 80"	6'-10"	1	0.25	RH Swing	Ex Family
B	72" x 80"	6'-10"	1	0.30	DBI Swing	Ex Dining
C	54" x 80"	6'-10"	1	0.25	RH Swing w/ 18" Side Light	Ex Foyer/Entry
D	36" x 80"	6'-10"	1	--	RH Swing	Ex Parlor
E	36" x 6'-8"	6'-10"	1	--	RH Swing	Bedroom #5
F	36" x 80"	6'-10"	1	--	RH Swing	Ex Office
G	36" x 80"	6'-10"	1	--	LH Swing	Bath #3
H	28" x 80"	6'-10"	1	--	LH Swing	Ex Foyer/Hall
J	36" x 80"	6'-10"	1	--	LH Swing	Bath #4
K	36" x 80"	6'-10"	1	--	RH Swing	Laundry
L	32" x 80"	6'-10"	1	0.25	RH Swing	Laundry
M	30" x 80"	6'-10"	1	--	RH Swing	Ex Bedroom #2
N	30" x 80"	6'-10"	1	--	LH Swing	Ex Bedroom #3
P	36" x 80"	6'-10"	1	--	RH Swing	Ex Bath #2
Q	64" x 80"	6'-10"	1	0.25	DBI Swing	Ex Hall
R	30" x 80"	6'-10"	1	--	LH Swing	New Bedroom #1
S	30" x 80"	6'-10"	1	--	LH Swing	New Bath #1

Scope of Work

- Structural Work**
 - Foundation repairs around the kitchen and living room perimeter walls.
 - Removal of two existing chimneys (one in the kitchen/living area and one in the upstairs bedroom).
 - Installation of a new structural beam in the kitchen/living area and a new header beam over the living room windows, both supported by newly poured stem walls.
 - Replacement of floor joists throughout the kitchen and living room.
 - Repair of the upper-level porch, including support beam upgrades to meet current code requirements.
 - Replacement of the interior staircase with a new code-compliant assembly.
- Roofing and Insulation**
 - Complete roof replacement, including installation of three new skylights.
 - Addition of 4" rigid foam insulation beneath the roof sheathing.
 - Reinforcement of attic framing to accommodate new roof and skylight loads.
 - Installation of new insulation in all exterior wall cavities per current energy codes.
 - Replacement of all existing windows with new, code-compliant units.
 - Replacement of all interior and exterior doors.
 - Plumbing
 - Replacement of all water supply and drain lines for four bathrooms.
 - Installation of a new jetted tub and replacement of an existing tub.
- Mechanical and Electrical**
 - Replacement of six sinks and four shower fixtures.
 - Installation of four new exterior hose bibbs.
 - Addition of a new well pump and water filtration system.
 - Installation of a new 80-gallon electric water heater.
 - Removal of all existing electric baseboard heaters.
 - Installation of twelve Envi wall-mounted electric heaters.
 - Addition of two ductless mini-split HVAC systems, one for each floor.
 - Full panel replacement and rewiring of the home to meet current electrical code requirements.
 - Installation of LED lighting throughout the home.
 - Addition of a new dedicated circuit for an electric vehicle charger.
- Interior Finishes**
 - Installation of new kitchen cabinetry.
 - Replacement of four bathroom vanities.
 - Installation of new LVP flooring throughout the home.
 - Tile flooring installation in two bathrooms.
 - Installation of a new double oven and an electric cooktop with a downdraft vent system.
- Exterior Improvements**
 - Replacement of decking and railings on the front and side porches to meet current code standards.
 - Plans for a new rear deck and hot tub, to be submitted under a separate permit if required.

REVISIONS

REVISIONS

RaBuilt
structural engineering
Oak Harbor, Washington 98277
P.O. Box 1488

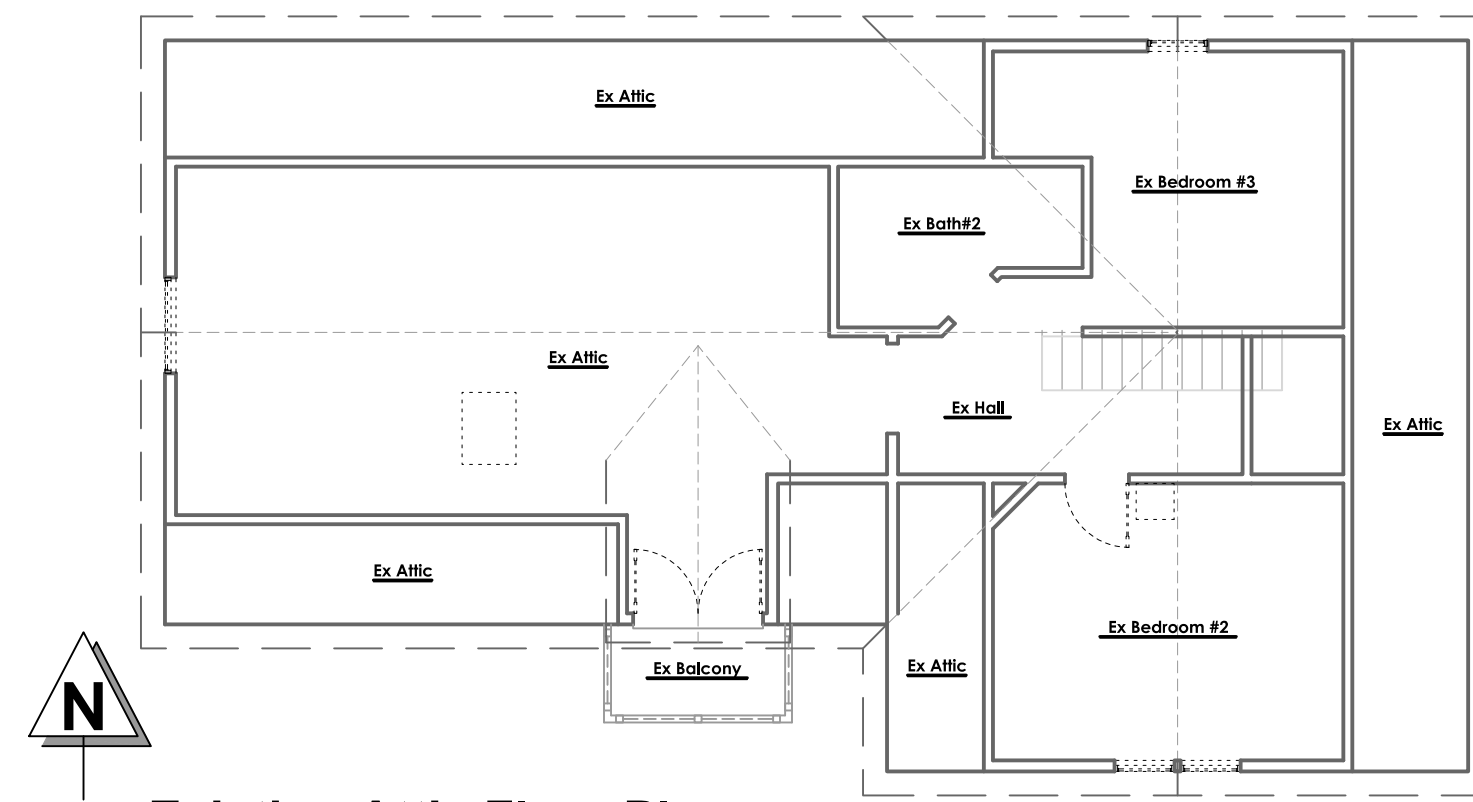
1/4" = 1'-0"

Existing Main Floor Plan
Renovated Main Floor Plan

Main Floor
Wanamaker Renovations
Wood Consulting & Mgmt. LLC
433 West Wanamaker Road
COLEVILLE, WA 98239
(206) 734-8400
DOWWOOD@GMAIL.COM

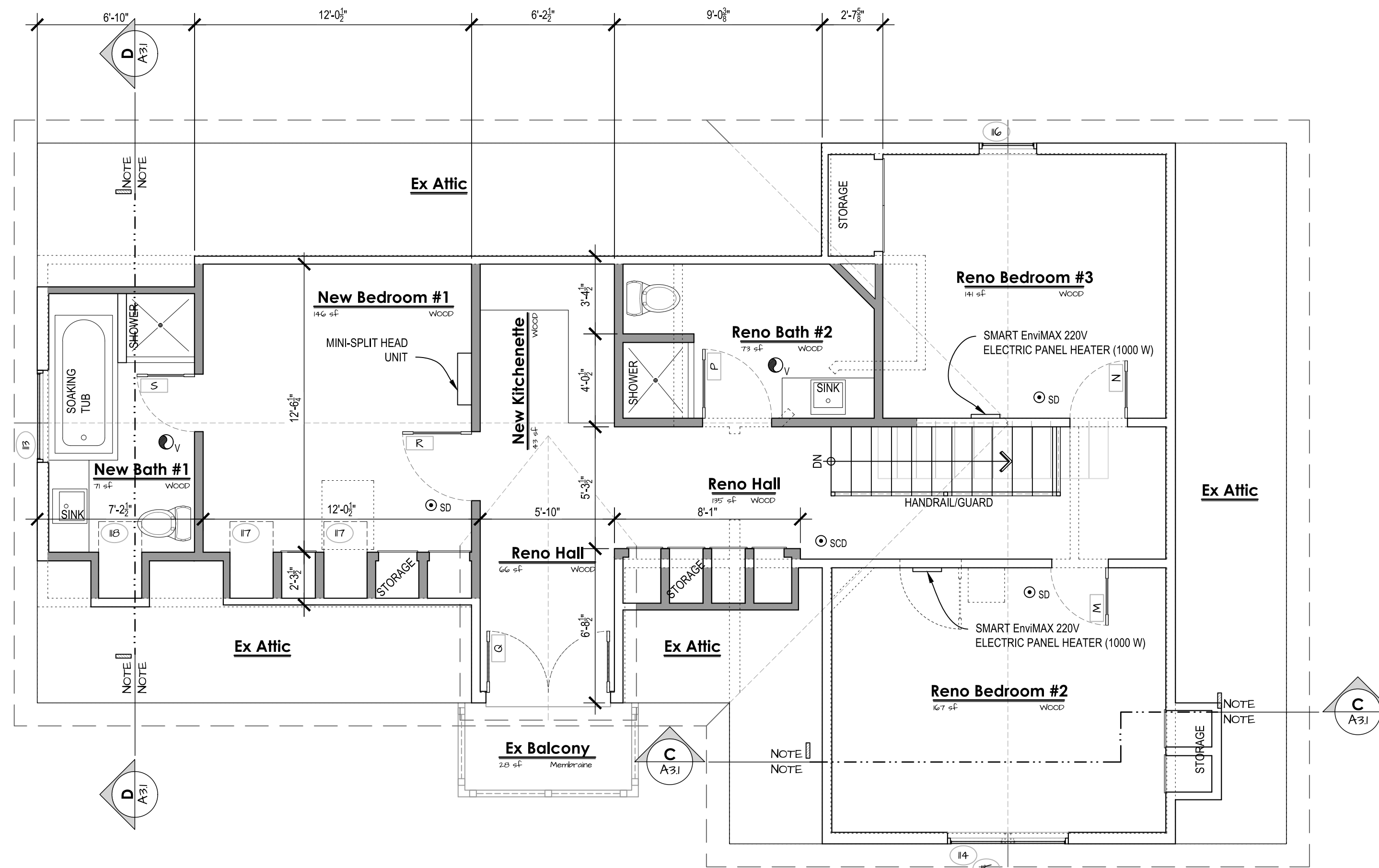
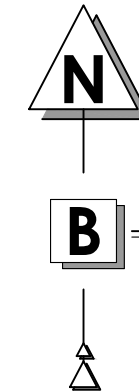
April 18, 2025

A2.0



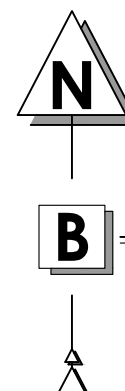
Existing Attic Floor Plan

SCALE: 1/8" = 1'-0"

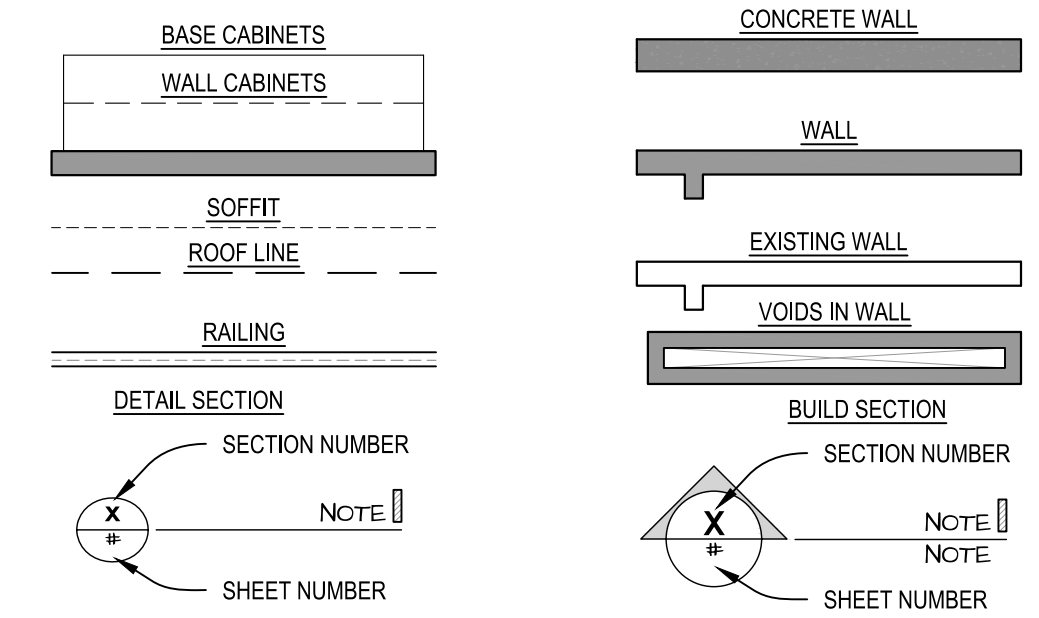


Renovated Attic Floor Plan

SCALE: 1/4" = 1'-0"



Plan Legend



■ Indicates door type. Refer to door schedule on sheet.
 ■■ Indicates window type. Refer to window schedule on sheet.

Area Calculations

Description	Existing Area	Renovated Area
Living Area		
Main Floor		
Living	1,470 sf	1,470 sf
Upper Floor		
Attic	470 sf	0 sf
Living	530 sf	1,000 sf
Total	2,470 sf	2,470 sf
Decks and Patios		
Cover Porches	100 sf	100 sf
Decks	- not present -	500 sf
Balcony (Upper Floor)	30 sf	30 sf
Fenestration Area:		
Present of Living Area:		15.5%
Glazing Area:		240 sf
Door Area:		143 sf

Plan Notes

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- Exterior Improvements**
 - Replacement of decking and railings on the front and side porches to meet current code standards.
 - Plans for a new rear deck and hot tub, to be submitted under a separate permit if required.

REVISIONS

NO.	DATE	DESCRIPTION
1	APRIL 18, 2025	CONSTRUCTION DOCUMENTS

RaBuilt
 structural engineering
 (866) 924-4407 | ra@rabiuilt.com
 Oak Harbor, Washington 98277

1/4" = 1'-0"
 Existing Attic Floor Plan
 Renovated Attic Floor Plan

Upper Floor
 Wamamaker Renovations
 Wamamaker Consulting & Mgmt. LLC
 4345 West Wamamaker Road
 COLEVILLE, WA 98239
 (206) 734-8400
 DOWWOOD@GMAIL.COM

April 18, 2025

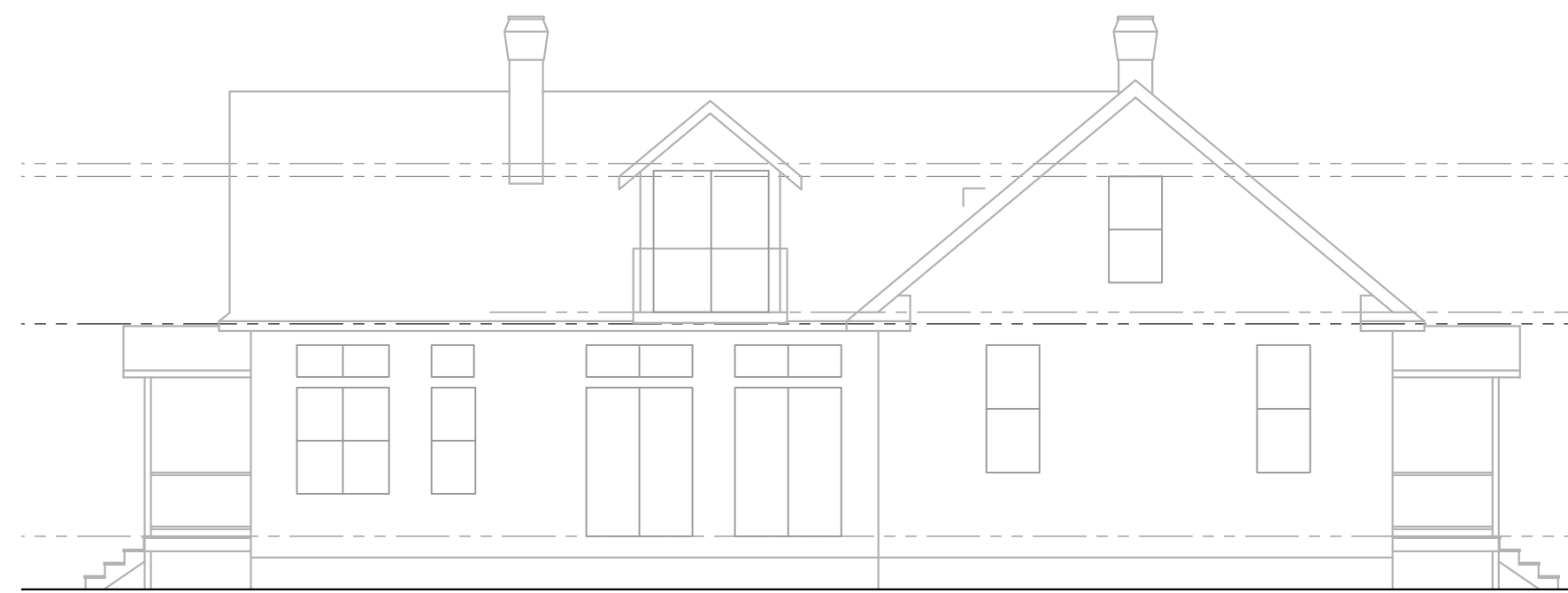


North East Elevation
Per Property Clean Up



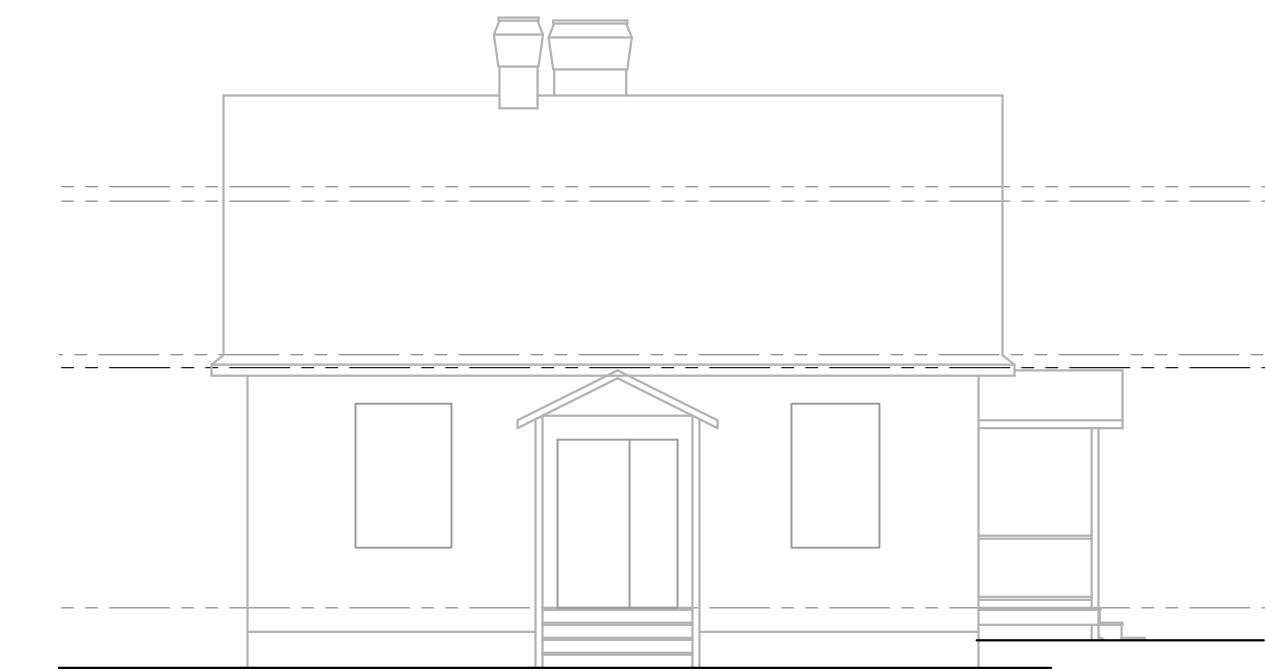
A Existing East Elevation

SCALE: 1/8" = 1'-0"



A Existing South Elevation

SCALE: 1/8" = 1'-0"

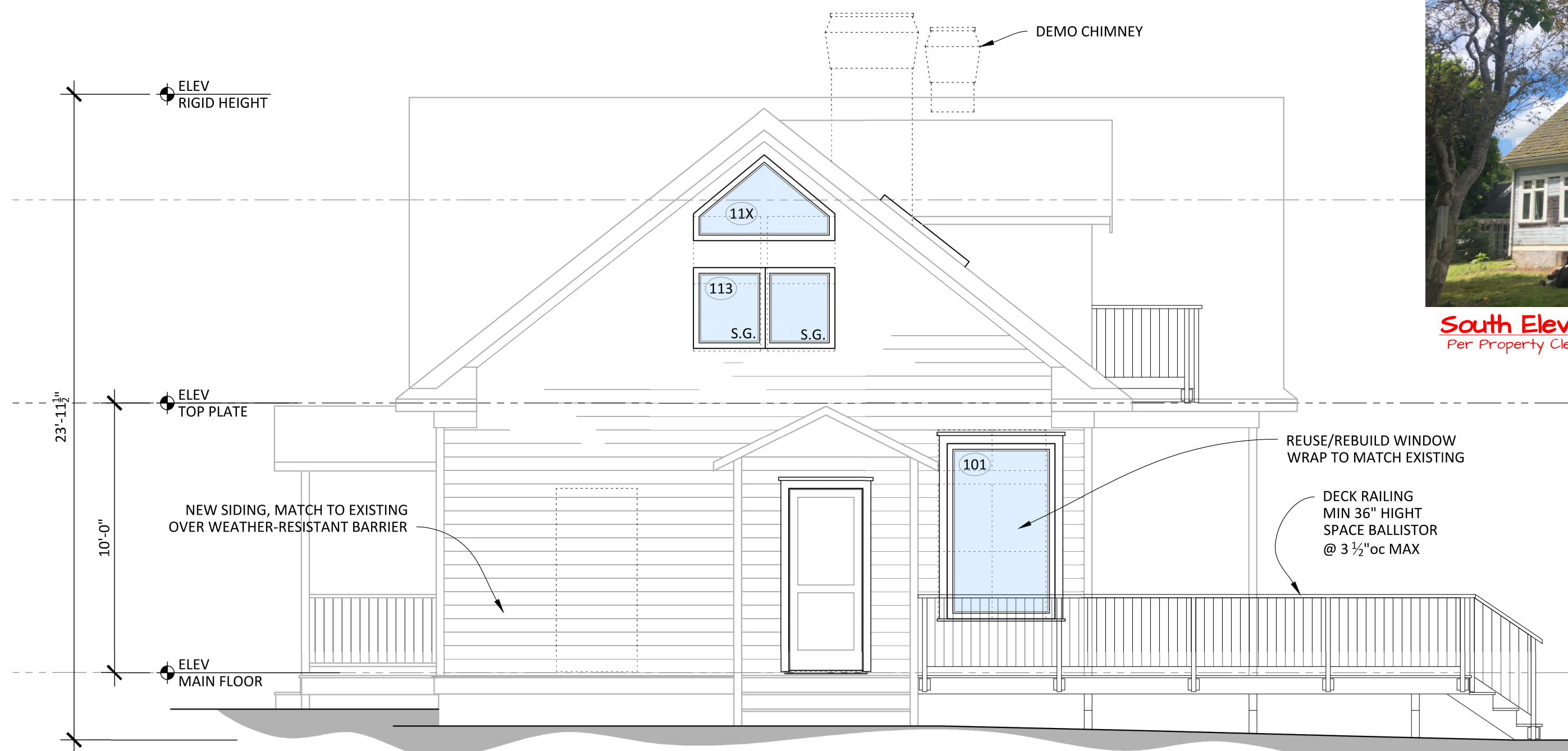


A Existing West Elevation

SCALE: 1/8" = 1'-0"



South Elevation
Per Property Clean Up



D Proposed West Elevation

SCALE: 1/4" = 1'-0"



E Proposed East Elevation

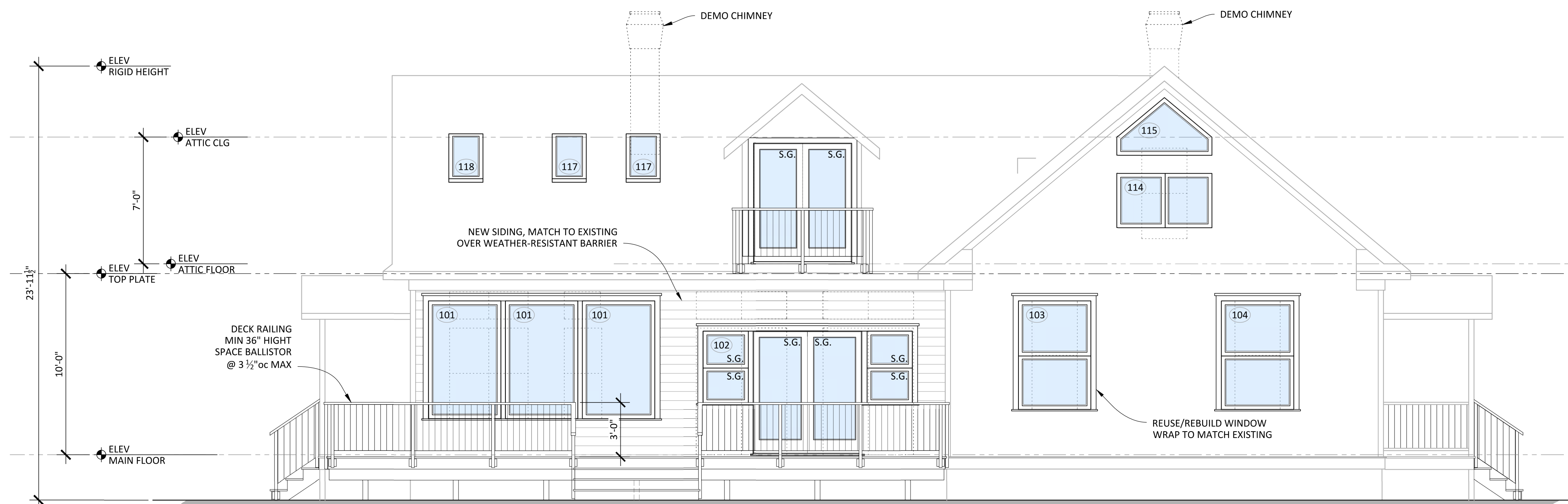
SCALE: 1/4" = 1'-0"



South Elevation
Current



East Elevation
Current



F Proposed South Elevation

SCALE: 1/4" = 1'-0"

REVISIONS

REVISIONS

3/4" = 1'-0"

Existing East, South & West Elevations
Proposed East, South & West Elevations

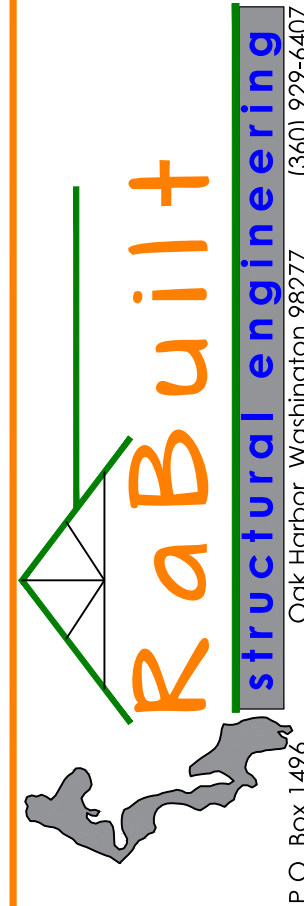
Elevations

THOMPSON RESIDENCE
ANDREW THOMPSON
3011 NE 9TH AVE
COUGLEVILLE, WA 98239
(206) 734-8400
DOWWOOD@GMAIL.COM

April 18, 2025

A3.0

SHEET





Ebey's Landing National Historical Reserve
Certificate of Appropriateness
Mossman
975 Fort Casey Road
EBY-25-025

AFTER-THE-FACT REMODEL; CONDITIONS OF APPROVAL UPDATE

I – PROJECT SUMMARY

On behalf of property owners Mike and Kyle Mossman, Jon Roberts from Cascade Custom Homes requests a Certificate of Appropriateness (COA) for a proposal to construct a new Single-Family Residence (SFR). The new single-family residence will be located on the western part of the parcel, along Fort Casey Road. Trees and other vegetation cover the view of the parcel from the road, and the proposed new construction will be located behind the hedgerow. The site address is 975 Fort Casey Road in Coupeville.

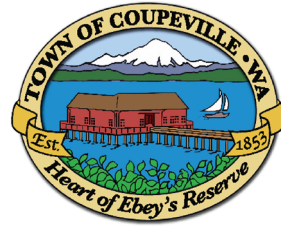
In accordance with Chapter 17.04A of the Island County Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on July 10, 2025, and all wishing to be heard were heard. The Historic Preservation Commission approved this project with the following conditions:

1. The residence must be moved at least twenty feet to the north, if feasible.
2. Applicants must adhere to the requirements listed in the Conservation Easement Deed.

On July 29, 2025, the applicant provided an updated site plan that satisfy the conditions of approval approved by the Historic Preservation Commission.

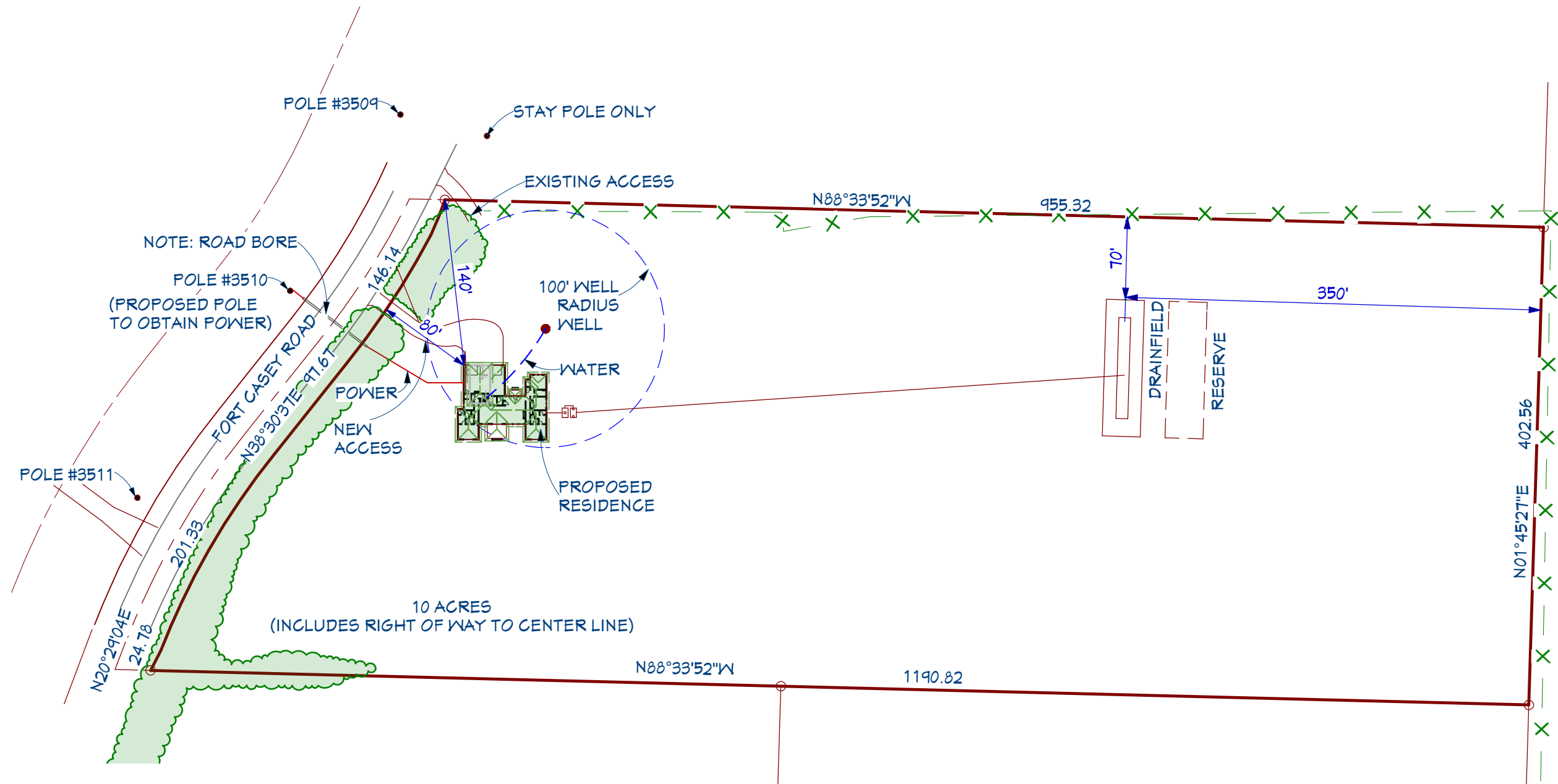
Attachments:

- A. Revised Site Plan, EBY-25-025
- B. Existing Elevation Plan approved July 24, 2025



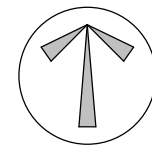
EBY-25-025: MOSSMAN – NEW SFR

ATTACHMENT A: REVISED SITE PLAN PER HPC CONDITIONS OF APPROVAL



PARCEL NUMBER: R13115-285-3400

LEGAL DESCRIPTION:
 IN W CROCKETT DLC: B6 NWCR S CROCKETT DLC S01*W2177.84
 TPB S01*W402.56' N88*W1190 .82' TO CTRLN FT CASEY RD NELY TP
 N88*W FR TPB S88*E 955.32' TPB EX CO RD R/W TGW & SUB TO
 SCENIC EZ TGW EZ FR 200 2870 TR 1 - V5 SUR P451 TGW SCENIC
 EASEMENT AF#8501340

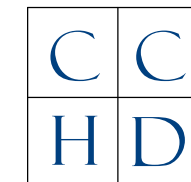


SITE PLAN

1" = 100'-0"

DRAWN FOR:
DAVID MOSSMAN
 975 FORT CASEY RD
 COUPEVILLE, WA

MAILING ADDRESS:
 31515 102ND AVE SE
 AUBURN, WA 98092

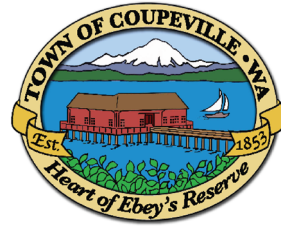


DESIGNED BY: JON D. ROBERTS

CASCADE
 CUSTOM HOMES & DESIGN

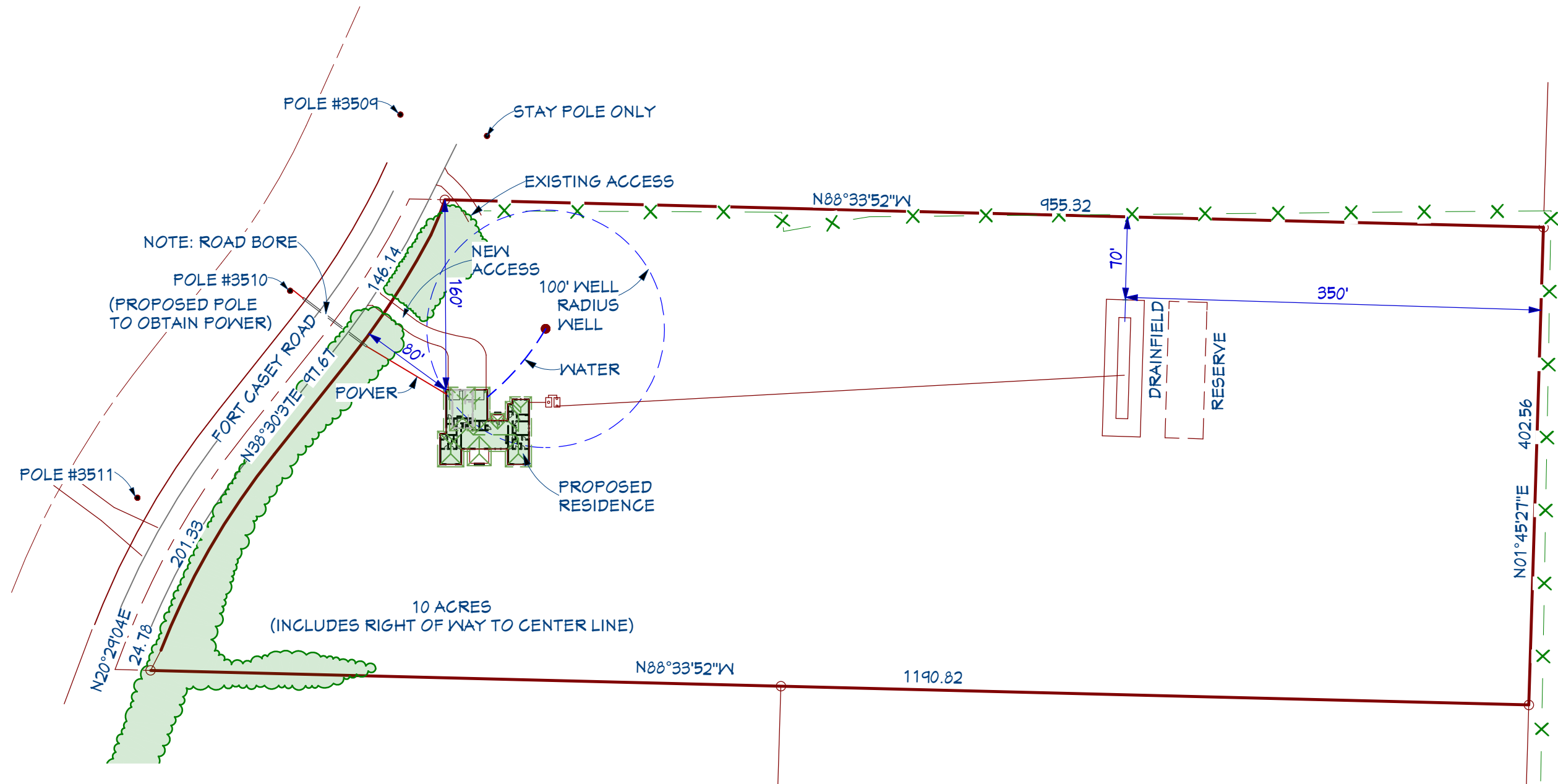
35 NW Birch Street
 Coupeville, WA 98239, 360-675-0491

DATE: 7/28/2025



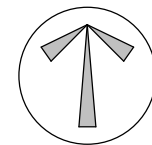
EBY-25-025: MOSSMAN – NEW SFR

ATTACHMENT B: PREVIOUS SITE PLAN, APPROVED JULY 24, 2025



PARCEL NUMBER: R13115-285-3400

LEGAL DESCRIPTION:
 IN W CROCKETT DLC: B6 NWCR S CROCKETT DLC S01*W2177.84
 TPB S01*W402.56' N88*W1190 .82' TO CTRLN FT CASEY RD NELY TP
 N88*W FR TPB S88*E 955.32' TPB EX CO RD R/W TGW & SUB TO
 SCENIC EZ TGW EZ FR 200 2870 TR 1 - V5 SUR P451 TGW SCENIC
 EASEMENT AF#8501340

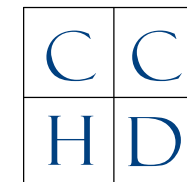


SITE PLAN

1" = 100'-0"

DRAWN FOR:
DAVID MOSSMAN
 975 FORT CASEY RD
 COUPEVILLE, WA

MAILING ADDRESS:
 31515 102ND AVE SE
 AUBURN, WA 98092



DESIGNED BY: JON D. ROBERTS

CASCADE
 CUSTOM HOMES & DESIGN

35 NW Birch Street
 Coupeville, WA 98239, 360-675-0491

DATE: 3/19/2025