



**EBEY'S LANDING HISTORIC PRESERVATION COMMISSION**  
ISLAND COUNTY COMMISSIONERS' HEARING ROOM (Room 102B)  
1 NE 6<sup>th</sup> St., COUPEVILLE, WA  
APRIL 24, 2025

**10:00: Roll Call**

**Approval of Minutes** – Minutes from the March 31, 2025 HPC Public Hearing

**Public Comment on items not on the agenda -**

**Public Hearings:**

- **COA-25-010** – S7302-04-00002-0; 207 NW Third Street, Coupeville – Encinas – Construction of a New SFR.

**Other Discussion items:**

- Ebey's Forever Grant

The Historic Preservation Commission will hear testimony from interested persons either in person or via telephone or video. Written comments may be submitted comments to Planning & Community Development; 1 NE 7th Street, Coupeville, WA 98239 for projects within the County (EBY). Projects within the Town (COA), submit written comments to the Town of Coupeville, 4 NE 7th St., Coupeville, WA 98239

Join Zoom Meeting <https://zoom.us/j/91304102115?pwd=ajlTWjJxODdRbUd3cXNwQXY2QkQ2UT09>  
Meeting ID: 913 0410 2115 Passcode: 509725 Dial by your location +1 (253) 215-8782,  
Meeting ID: 913 0410 2115 Passcode: 509725



**CENTRAL WHIDBEY HISTORIC PRESERVATION COMMISSION  
ISLAND COUNTY COMMISSIONERS' HEARING ROOM  
COUPEVILLE, WA  
March 27, 2025**

A recording of this meeting can be found on Coupeville's website: [www.townofcoupeville.org](http://www.townofcoupeville.org). Timestamps (*hr. m. s.*) for the beginning of each item and motion are designated in the minutes.

**CALL TO ORDER**

Chair Bishop called the meeting to order at 10:00am

**COMMISSIONERS PRESENT**

- ✓ Chair **Danielle Bishop**
- ✓ Commissioner **Katherine Baxter**
- ✓ Commissioner **Jay Adams**
- ✓ Commissioner **Marshall Bronson**
- ✓ Commissioner **Eve Parrish**
- ✓ Commissioner **Sheila Saul**

**STAFF PRESENT**

- ✓ Ebey's Landing National Historical Reserve Preservation Coordinator **Josh Pitts**
- ✓ Island County Long Range Planner **John Lanier**
- ✓ Island County Current Use Planner **Yumi Shridhar**
- ✓ Town of Coupeville Community Planning Director **Joshua Engelbrecht**
- ✓ Town of Coupeville Assistant Planner **Lisa Walsh**

**APPROVAL OF AGENDA**

Action: A motion was made by Commissioner Bronson, seconded by Commissioner Saul, to approve the agenda of the March 27, 2025 meeting as submitted. *The motion passed unanimously.*

**APPROVAL OF MINUTES**

Action: A motion was made by Commissioner Bronson, seconded by Commissioner Parrish, to approve the minutes of the February 13, 2025 and March 13, 2025 minutes as submitted. *The motion passed unanimously.*

**Public Comment on items not on the agenda**

*No members of the public spoke on items not on the agenda.*

**PUBLIC HEARING**

Chair Bishop provided a description of the role of the Commission, its legal basis and process, and the standards and guidelines on which its decisions are based. She asked commissioners to declare any conflicts of interest or bias regarding the applications on the agenda and to disclose any ex parte communication or site visits.

- Chair **Bishop** visited all sites
- Commissioner **Baxter** visited all sites
- Commissioner **Bronson** visited all sites

*No public challenge to the participation of a commissioner was raised.*

***Special Valuation (5m. 26s.) – Old Boyer Place – 22289 SR 20***

Ebey's Preservation Coordinator, Josh Pitts, presented on the Special Valuation application by the James family. Elements of the presentation touched on eligible and ineligible expenses, and the actual cost of rehabilitation.

***DISCUSSION***

Chair Bishop opened the floor for discussion.

Questions were asked and answered about how the labor cost was calculated. Property owner Lee James briefly addressed the Commission to thank Josh Pitts for his presentation and to speak about the work done on the property.

*No members of the public spoke at the meeting.*

***MOTION (17m. 58s.)***

Action: A motion was made by Commissioner Bronson, seconded by Commissioner Baxter, to accept the Special Valuation on the Old Boyer Property as presented. *The motion passed unanimously.*

***EBY-25-003 (21m. 49s) – 2185 Madrona Way (R13230-099-2780) – Repairs and Alteration to a Historic House***

Island County Current Use Planner, Yumi Shridhar, presented on the proposed repairs and alterations. Elements of the presentation included proposed alterations, proposed materials, applicable guidelines, and location within the Reserve.

Ebey's Preservation Coordinator Josh Pitts spoke about the alterations to the north elevation and the documented time of original construction. Pitts made a statement confirming that a thorough review by staff has confirmed that the planned modifications will uphold the essential elements of the property, ensuring its continued ability to convey historical significance.

***DISCUSSION***

Chair Bishop opened the floor for discussion.

Questions were asked and answered about what is still original to the structure, and whether materials can be reclaimed. Larry Kwarsick spoke, on behalf of the property owner, to thank the staff for their presentation and to inform the Commission that the owner will be living on site after the renovation is complete.

*No other members of the public spoke at the meeting.*

***MOTION (44m. 15s.)***

Action: A motion was made by Commissioner Bronson, seconded by Commissioner Adams, based on the staff report, evidence presented, comments made at the public meeting, and finding the application EBY-25-003 to be consistent with the Ebey's Landing National Historical Reserve Design Guidelines, to approve the Certificate of Appropriateness. *The motion passed unanimously.*

**ADJOURNMENT**

The meeting was adjourned at 10:47am.

Respectfully submitted,

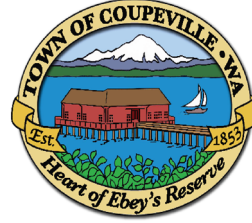
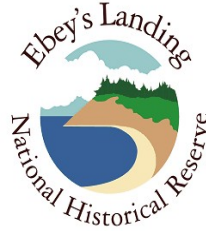
Community Planning Director

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Deputy Clerk Chris Jolly

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Joshua Engelbrecht



## Ebey's Landing National Historical Reserve

### Certificate of Appropriateness Go West Building Design, LLC for Encinas Construction 207 NW Third Street, Coupeville COA-25-010

Level A or B (Review requested)

Level C (Decision requested)

Level C (Recommendation requested)

Jurisdiction: Island County

X

#### I – PROJECT SUMMARY and BACKGROUND

The applicant requests a Certificate of Appropriateness for a proposal to construct a new single-family residence at 207 NW Third Street in Coupeville.

The project site and surrounding area is located within Ebey's Review Area 1. The project will require a Level C Certificate of Appropriateness per Coupeville Town Code (CTC) 16.30.120.C(4) as new construction within review area 1. As per CTC 16.30.120, the Town Planner requests an HPC recommendation as the proposed activity occurs on a non-historic site and is not within 100 feet of a historic building or structure.

The public notice was published in the Whidbey News Times on April 12, 2025, for the public comment period from April 4 to April 23, 2025. A sign was posted on the property on April 4, 2025. The Town of Coupeville did not receive any public comments regarding the proposal.

#### II – PERMIT DATA

<b>Building or Land Use Permit Type</b>	Certificate of Appropriateness
<b>Application Number</b>	COA-25-010
<b>Application Date</b>	March 27, 2025
<b>Applicant/Owner</b>	Go West Building Design, LLC For Encinas Construction

**III – SITE DATA**

<b>Address</b>	207 NW Third Street, Coupeville		
<b>Location</b>	Northwest quadrant of town, between Broadway and Wilkes		
<b>Parcel Number(s)</b>	S7302-04-00002-0		
<b>Size of parcel(s)</b>	0.2881 acres		
<b>Review Area</b>	Ebey’s Design Review Area 1		
<b>Historic Structure?</b>	Yes	No	X
<b>Proximity to Historic Structures?</b>	Yes	No	X
<b>Zoning Designation</b>	Medium-density residential		

**IV – STAFF CONTACTS**

<b>Title</b>	<b>Name</b>	<b>Phone</b>	<b>E-mail</b>
Assistant Planner	Lisa Walsh	360-678-4461 x 104	assistantplanner@townofcoupeville.org

**V – DISCUSSION**

The applicant proposes to construct a new single-family residence at 207 NW Third Street in Coupeville. Northwest Third Street is a newly established neighborhood with three houses currently under construction by the same applicant and owner.

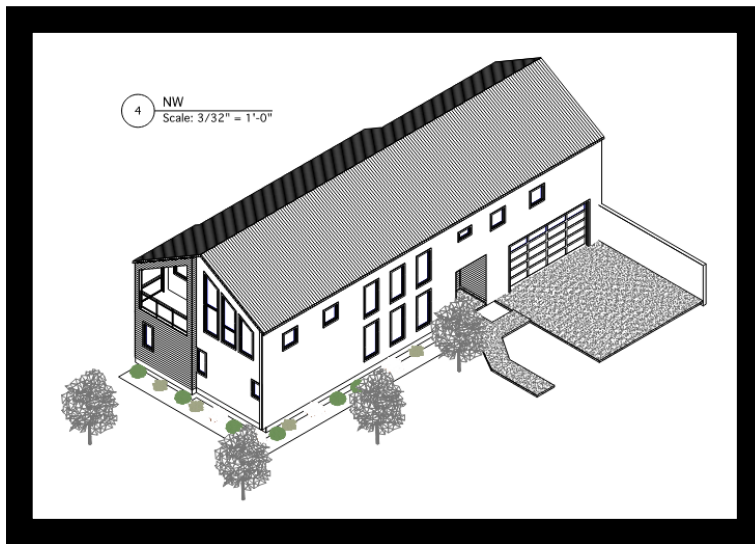


Figure 1 – New single-family residence (northwest angle)

**VI – APPLICABLE DESIGN GUIDELINES**

**A. SECRETARY OF THE INTERIOR’S STANDARDS**

<b>The Secretary of the Interior’s Standards apply:</b>	Yes		No	X
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This project is not within 100 ft. of any historic resources within Ebey’s Landing National Historical Reserve.

**B. EBEBY’S RESERVE DESIGN GUIDELINES**

Staff has identified the following design guidelines as particularly relevant to the proposal.

**CHAPTER 4.6 – New Construction**

**Guiding Principle:** New development should respect the Reserve’s rural character. A successful new building will have compatible scale, massing, size and materials that allow it to blend into its site.

**4.6.1. – Architectural Character**

Guideline	Staff Analysis
4.6.1.1	<p>The mass of larger buildings should be broken up into separate parts to give the appearance of a group of buildings rather than one large building. Use trees and other vegetation to soften the appearance. Design buildings to be generally horizontal in form in order to be less conspicuous.</p> <p><i>The proposed residence is one structure, but staff does not feel that breaking it up into a house with a detached garage would improve the proposal. Houses with attached garages are very common in this neighborhood. The applicant proposes to install vegetation between the public right-of-way and the street-facing façade in order to soften the appearance of the house. The proposed design is horizontal in form.</i></p> <p><i>Staff believes the proposed design aligns with this guideline.</i></p>
4.6.1.2	<p>New buildings should be similar in general character, but they should also have subtle differences in design to distinguish them from historic structures. Contemporary designs which reflect the scale and materials of surrounding development are appropriate. False historic structures are not appropriate. New buildings should be stylistically distinct from historic structures.</p> <p><i>The proposed design is contemporary and minimalist, and it will easily be distinguished from historic structures. The scale and materials of nearby homes is similar; the new construction next door has a larger footprint. The nearest historic structure is over 700 feet away from this parcel.</i></p> <p><i>Staff believes the proposed design is contemporary and is similar to a few homes in the nearby area. The contemporary design fits well in this specific neighborhood. Staff does not believe this structure will detract from the public’s perception of the Reserve given its location in a new development.</i></p>

<p>4.6.1.3</p>	<p>Building materials should be similar to materials of the surrounding neighborhood or use other characteristics such as scale, form, architectural detailing, etc. to establish compatibility.</p> <p><i>Building materials are similar to those in the neighborhood with wood doors, vinyl windows, and cement lap and cement board &amp; batten siding. Materials unique to this proposal are a glass panel on the upper floor and metal roofing. While these materials are not found in this neighborhood, they are popular and common generally throughout the Reserve.</i></p> <p><i>Staff believes the building materials are compatible with the surrounding neighborhood. The materials that are unique to this structure do not detract from the surrounding properties and are acceptable. Staff believes the proposal aligns with guideline.</i></p>
<p>4.6.1.4</p>	<p>Buildings in wooded areas that are substantially and permanently screened from the road by trees may have greater flexibility in massing, scale, and materials.</p> <p><i>Does not apply to this proposal.</i></p>
<p>4.6.1.5</p>	<p>Buildings should be designed to be compatible with their surroundings in material, scale, mass, size and form. Buildings or structures that are inconsistent with form or shape throughout the Reserve are not permitted in Review Area 1.</p> <p><i>The proposed building design is contemporary and minimalist, and this parcel sits in Review Area 1.</i></p> <p><i>Staff reviewed the proposal and requested a couple of changes in design. The applicant considered our requests and changed the window design and added an approach to the side entry, but also felt that other requested changes would be inconsistent with the overall design and aesthetic. Staff believes the current design is complementary to the neighborhood, and even though it is in Review Area 1, it will not affect the historic fabric of the Reserve with its contemporary design.</i></p>
<p>4.6.1.6</p>	<p>New buildings shall acknowledge and reinforce the characteristics of the existing development pattern within the neighborhood or setting.</p> <p><i>This parcel is located at the heart of a new development. While other new homes on the street have a less modern style, the neighborhood overall is a mix of designs from 70's architecture, onward.</i></p> <p><i>Staff believes this house is representative of the current times, and it will not detract from the surrounding neighborhood or new development.</i></p>

4.6.1.7	<p>Wood is preferred as the primary exterior material, but fiber cement products may also be used. Metal in dark, non-reflective colors may be used in small amount.</p> <p><i>The proposed materials are wooden doors, vinyl windows, and cement lap and cement board &amp; batten siding material. The deck is glass panels, and the roof is metal.</i></p> <p><i>Staff believes these materials are acceptable and are found commonly throughout the Reserve.</i></p>
4.6.1.8	<p>Front and side yards should be largely dedicated to landscaping. Expanses of concrete and parking areas toward the front of the site are not allowed.</p> <p><i>The proposal includes shrubbery and trees along the side and front of the structure. Concrete is used for the driveway, sidewalk to the entrance, and access to the two-car garage.</i></p> <p><i>Staff feels that the proposed landscape is adequate for the parcel and the neighborhood.</i></p>

**CHAPTER 4.6.4 – New Residential Construction**

**Guiding Principles:** Much of the Town of Coupeville has a relatively dense development pattern and some areas contain a significant number of historic buildings. New construction, particularly in Review Area 1, should continue the historical pattern of development with buildings that are compatible with their neighbors in terms of scale, massing, materials, and color.

Guideline	Staff Analysis
4.6.4.1	<p><i>Flexibility is permitted in Review Area 2 and for totally screened development in Review Area 1.</i></p> <p>The project is not within Review Area 2, nor is it completely screened; however, the nearest historic structure is the Joseph Whidbey House, and it is over 700 feet away.</p>
4.6.4.2	<p><i>New buildings should reflect the architectural character of surrounding buildings in the following ways:</i></p> <p><i>a. Similar portions, scale and roofline</i></p> <p>This neighborhood is a new development. This will not be the largest house on the street; and the size of the structure is minimized even further with the narrow end of the structure facing the public right-of-way.</p> <p><i>b. Complementary architectural style and exterior finish materials</i></p> <p>The architectural style is modern and is found in a few houses in the neighborhood, and finishes are common throughout the Reserve.</p> <p><i>c. Complementary patterns and proportions of windows</i></p> <p>Window size and spacing is complementary to other houses in the Reserve. There are no large picture windows or sliding glass doors that face the public right-of-way.</p> <p><i>d. Similar entry configuration and relationship to the street</i></p>

	<p>The entry does not face the street, but the proposal includes landscaping and a sidewalk that indicates the entry from the right-of-way. Placement of the entry on the street-facing façade was not compatible with the floor plan.</p> <p><i>e. Complementary architectural details or features without imitating historic features.</i></p> <p>The modern and minimalist design is complementary to the neighborhood and does not distract from the overall fabric of the Reserve.</p>
4.6.4.3	<p><i>Building shapes should be compatible to historic residential structures in the Reserve.</i></p> <p>The proposed building shape fits in well with the neighborhood and the Reserve.</p>
4.6.4.4	<p><i>Vary design in groups of buildings. Denser developments are encouraged to include details that create a sense of human scale and break down the bulk of large buildings.</i></p> <p>Does not apply to this project.</p>
4.6.4.5	<p><i>Smaller accessory structures are encouraged.</i></p> <p>No accessory structures are included in the proposal.</p>
4.6.4.6	<p><i>Use gable and hipped roofs as primary roof forms.</i></p> <p>The proposed building uses gabled roofs.</p>
4.6.4.7	<p><i>Front porches should be used to emphasize the front entry.</i></p> <p>The proposed design for the entry includes a sidewalk from the driveway and landscaping that will indicate placement of the entry from the right-of-way. A traditional porch is inconsistent with the contemporary design.</p>
4.6.4.8	<p><i>Orient the main façade and the primary entrance toward the street. Enhance the primary entrance with stairs, a porch, stoop, or other design features.</i></p> <p>The structure is oriented with the shorter elevation facing NW Third Street so the massing will feel smaller. The structure is located further back on the parcel to further minimize impact. The interior floor plan is not compatible with a front entry, but the entry has been designed to include a sidewalk and complementary landscaping.</p> <p>Staff feels that the side entry on this project is appropriate for the design and the neighborhood.</p>
4.6.4.9	<p><i>Reflect the mass, scale, and height of adjacent structures.</i></p> <p>Staff believes this project is appropriate in mass, size and scale compared to adjacent structures and other homes in the neighborhood.</p>
4.6.4.10	<p><i>Building footprints should be no larger than the average footprint size of all buildings located within 200 feet of the site.</i></p> <p>This is not the largest structure on the street, and the footprint is approximately 2,000 sq ft. Staff believes the proposal aligns with this guideline.</p>

4.6.4.11	<p><i>To avoid overwhelming smaller neighboring buildings, divide a wide façade to look like smaller building masses.</i></p> <p>The proposed elevation that faces the right-of-way is the smaller elevation and will help minimize the mass of the building. Staff feels the size of the structure is acceptable for the neighborhood.</p>
4.6.4.12	<p><i>Use similar window types and proportions as those found on nearby buildings.</i></p> <p>The applicant accommodated Reserve Committee request to break up the windows that face the public right-of-way. Staff feels the proposed window placement and design reflects a contemporary feel, but it fits well in the NW Third Street neighborhood.</p>
4.6.4.13	<p><i>Wood windows are preferred on buildings.</i></p> <p>The proposed structure uses vinyl windows, which are common in the Reserve.</p>
4.6.4.14	<p><i>Acceptable window patterns for single or double-hung windows include one-over-one, two-over-two, or four-over-four lights.</i></p> <p>The proposed windows are small, picture windows on the west façade and divided, geometric windows on the street-facing façade. The applicant has accommodated a request by staff to break up the street-facing façade windows. Staff believes the current window placement and design are appropriate for a minimalist design and the neighborhood.</p>
4.6.4.15	<p><i>Do not locate garages, parking lots, or carports in front of the building.</i></p> <p>The proposed garage is located farthest from NW Front Street.</p>
4.6.4.16	<p><i>Vary design on units or groups of units.</i></p> <p>Does not apply to this project.</p>
4.6.4.16	<p><i>Vary design on units or groups of units.</i></p> <p>Does not apply to this project.</p>

**CHAPTER 4.11 – Parking and Driveways**

**Guiding Principle:** Parking should be designed to reduce visual and other impacts and to be as unobtrusive as possible. Driveways should be designed and located to be as unobtrusive as possible and to enhance pedestrian safety.

**4.11.1 Residential**

Guideline	Staff Analysis
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4.11.1.1	<p><i>Off-street parking should not be established in front of a house, except in the approved driveway.</i></p> <p>The proposed design includes a driveway that goes to the garage; no separate off-street parking is shown.</p>
4.11.1.2	<p><i>Minimize the impact of individual garage entrances where they face the street.</i></p> <p>The entrance to the two-car garage does not face the street.</p>
4.11.1.3	<p><i>Driveways should be as narrow as possible.</i></p> <p>The proposed driveway appears to be standard width.</p>
4.11.1.4	<p><i>Coordinatne the driveway design to meet the needs of the property while following the historic design precedents in the immediate area.</i></p> <p>Does not apply to this project – there are no historic properties in the immediate area.</p>
4.11.1.5	<p><i>Common driveways shall be established wherever possible to reduce curb cutouts.</i></p> <p>Does not apply to this project.</p>
4.11.1.6	<p><i>Residential driveways made of twin parallel tire tracks should be maintained where possible.</i></p> <p>Does not apply to this project.</p>
4.11.1.7	<p><i>Construct new driveways in locations that require a minimum of alteration to site features such as landscaping, retaining walls, curbs and sidewalks.</i></p> <p>The proposed driveway will require no alteration to site features.</p>
4.11.1.8	<p><i>Entry features such as driveways, gates, fences, and landscaping shall be compatible with the neighborhood setting.</i></p> <p>The proposed driveway is similar in design to driveways in the neighborhood. The site plan does not include any gates or fences. Landscaping is compatible with the neighborhood.</p>
4.11.1.9	<p><i>Gated subdivision entries shall not be permitted in the Reserve.</i></p> <p>Does not apply to this project.</p>

**VII – RECOMMENDED MOTION**

Based on the record developed to date, including application materials, staff report, evidence presented, and comments made at the public meeting, and finding application COA-25-010 to be consistent with the Ebey’s Landing National Historic Reserve Design Guidelines, I move to recommend granting a Certificate of Appropriateness.

**VIII – CONDITIONS**

Below are listed the various conditions that will be applied from the review of this application:

- No conditions.

## **IX – FINDINGS OF FACT AND CONCLUSIONS OF LAW**

Based on the analysis presented above, staff proposes the following findings of fact with respect to Application No. COA-25-010:

1. An application was submitted for a Certificate of Appropriateness on March 27, 2025, for a new single-family residence.
2. The site is within Review Area 1 of Ebey’s Landing National Historical Reserve and is classified as new construction within Review Area 1, requiring action on a Certificate of Appropriateness by the Historic Preservation Commission.
3. On April 3 and April 17, 2025, the Ebey’s Reserve Committee reviewed the application and found it to be consistent with the applicable Ebey’s Landing National Historical Reserve Design Guidelines.
4. In accordance with Chapter 16.13 of the Coupeville Town Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on April 24, 2025, and all wishing to be heard were heard.
5. In accordance with Guidelines in Chapter 4.6.1, the building is compatible in scale, massing, size, materials, and color.
6. In accordance with guidelines in Chapter 4.6.4, the proposed building is sensitive to the surrounding buildings and incorporate common elements found elsewhere in the Reserve.
7. In accordance with guidelines in Chapter 4.11, the parking and driveway components of the proposal are consistent with the Design Guidelines and are compatible with the neighborhood.
8. After review of the proposed application and consideration of public comment and staff’s recommendation, the Historic Preservation Commission finds the application consistent with the applicable Ebey’s Landing National Historical Reserve Design Guidelines.

## **X – APPEAL PROCESS**

A decision to approve, conditionally approve, or deny a Certificate of Appropriateness may be appealed as an administrative determination, together with the associated permit, in conformance with the appeal procedures set forth in Coupeville Town Code Chapter 2.52 and Sections 16.06.060 and 16.13.080.

## **XI – DECISION OR RECOMMENDATION**

**The Historic Preservation Commission recommends approval for Certificate of Appropriateness, signed this 24th day of April, 2025.**

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Historic Preservation Commissioner

Attested by:

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Lisa Walsh, Assistant Planner, Town of Coupeville

**Attachments:**

- A. Approved Site Plan
- B. Approved Elevations



# APPLICATION CHECKLIST

## Certificate Of Appropriateness (COA) – Town of Coupeville

Ebey's Landing National Historical Reserve

### FILLING OUT AN APPLICATION:

- Neatly print all information and provide signatures in **blue** ink.
- **If someone other than the property owner is applying for the permit, the application must be accompanied by a signed and notarized Agent Authorization Form** which is included in the COA application forms.

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### Please use the following checklist to ensure you provide all items listed below (CTC 16.13.130.C):

#### Applicant/Staff

- Completed Application Form, including original signatures of property owner(s) and applicable fees. Applicable fees, as established by the Town of Coupeville. Check with staff to confirm application fee. Review fees are generally \$50 for Level A; \$100 for Level B; \$150 for Level C application, \$200 for Level C application (historic buildings in commercial use).
- Level A applications: One printed or digital copy  
Level B applications: One printed or digital copy of entire application packet  
Level C applications: One printed or digital copy of entire application packet
- Signed and notarized original Agent Authorization form if someone other than the property owner is applying for permit (included in COA application forms).
- Complete description of the proposed work.
- Scaled site plan depicting the following:
- Location and dimensions of proposed structures and improvements
  - Location and dimensions of existing structures and other improvements, such as buildings, driveways, utilities, propane tanks, fuels tanks and fences, including significant trees and vegetation.
  - Assessor parcel number.
  - North Arrow and scale of drawing.
  - Distance between existing property lines and existing or proposed structures.
  - Building setbacks per zoning requirements (see TCC 16.12.030).
  - Location of adjacent streets and easements with access to parcel.
- Scaled design elevations of new structures or improvements, alterations, and additions. (Show both existing and proposed.) (Required for building structures.)
- Clear color photographs of the building, object, site, structure, and adjacent properties.
- Samples of construction materials (when requested by staff). For historic buildings, submit new material samples for comparison with the existing or the original building materials.
- Any supplemental information deemed necessary and requested by the Town for review of the application (this usually related to complex or large-scale projects).

**If the parcel is located in an archaeological area, any future development must be in compliance with all applicable laws pertaining to archaeological resources (RCW 27.53, 27.44 and WAC 25-48) and human remains (RCW 68.50). Development permit applications may require an archaeological survey report to be submitted along with the application.**



## Ebey's Landing National Historical Reserve Certificate of Appropriateness Application

**REVIEWED TO THE EBHEY'S LANDING HISTORICAL RESERVE DESIGN GUIDELINES BY ISLAND COUNTY (Island County Code 17.04A) AND THE TOWN OF COUPEVILLE (Coupeville Town Code Chapter 16.13) IN COOPERATION WITH THE TRUST BOARD OF EBHEY'S LANDING NATIONAL HISTORICAL RESERVE AND THE HISTORIC PRESERVATION COMMISSION**

I, the undersigned, do hereby respectfully make application for your review of my request concerning the property described below:

- Applicant(s) (main contact person):** *Agent for owner must complete the authorization on page 4*  
Go West Building Design LLC

**Address:** 2298 Van Dam Road, Coupeville WA 98239  
**Phone:** 360-672-2539      **E-mail:** gowestllc@outlook.com

- Property Owner(s):**  
David Encinas / Encinas Constructruction

**Address:** 1090 SE Pioneer Way, #101 Oak Harbor, WA 98277  
**Phone:** 360-632-4707      **E-mail:** David@EncinasConstruction.com

- Address of Subject Property:**  
207 NW Third Street

- Assessor's Parcel Number:**  
S7302-04-00002-0

- Zone:** Medium Density Residential (RM-9500)

**Present Use of Property (check all that apply):**

<b>Residential</b>	X	<b>Agricultural</b>		<b>Other</b>	
<b>Commercial</b>		<b>Institutional</b>			

**DESCRIPTION OF PROPOSED WORK:**

New construction, single family home with attached garage

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*Note: Please refer to the checklist on page 3 of this application for required submittal materials*

**Existing & Proposed Materials:**

Doors: <i>(existing)</i> <u>  n/a  </u>	<i>(proposed)</i> <u>  wood  </u>
Windows: <u>  n/a  </u>	<u>  vinyl  </u>
Deck/Railing: <u>  n/a  </u>	<u>  glass  </u>
Stairs/Ramp: <u>  n/a  </u>	<u>  n/a  </u>
Siding: <u>  n/a  </u>	<u>  cement lap and cement board and batton  </u>
Roofing: <u>  n/a  </u>	<u>  metal  </u>
Fence: <u>  n/a  </u>	<u>  n/a  </u>

**Does the proposed project involve a Historic Building?**     Yes     No

**Is the property within 100 feet of a historic building?**     Yes     No

**Is there a Conservation Easement on the property?**     Yes     No

*If yes, please include easement information with application packet*

**Applicant’s Acknowledgment**

I am familiar with the Ebey’s Reserve Design Guidelines as they pertain to my project. I certify by my signature below that the information in this application is accurate and complete. Planning staff has permission to copy materials, including architectural drawings, necessary for the review of my application.



Date   March 27 , 2025  

Applicant’s Signature

**Typically, applications require the following information**

*For projects that are not complex, feel free to ask if the standard submittal requirements are necessary.*

- Clear color photographs of the building, overall site, nearby structures, and any adjacent properties.
- A complete description of the intended work.
- A scaled site plan depicting existing and proposed structures and improvements; including significant trees, tree planting, vegetative buffering, and landscaping. Include driveways and nearby roads for context and an “N” (north) arrow.
- Scaled design elevations of new structures or improvements, alterations, and additions. (Show both existing and proposed).
- Samples of construction materials (when requested). For historic buildings, submit new material samples for comparison with the existing or the original building materials.
- Any supplemental information deemed necessary and requested by the County or Town for review of the application (this usually relates to complex or large-scale projects.)
- Agent Authorization Form (page 4 if needed)
- Applicable Planning & Review Fees
  - *Level A applications; please provide original signed application and 1 copy*
  - *Level B applications; please provide original plus 3 copies*
  - *Level C applications; please provide original plus color 14 copies*

*Review fees are generally \$50 for Level A; \$100 for Level B; \$150 for Level C (check with staff to confirm appropriate application fee)*

**FOR STAFF USE ONLY**

**Review Authority - based upon the application description and project location within the Reserve**

Staff: \_\_\_\_\_ Level A  
 HRC: \_\_\_\_\_ Level B  
 HPC decision: \_\_\_\_\_ Level C  
 HPC recommendation: \_\_\_\_\_ Level D  
 Land Use \_\_\_\_\_ Construction \_\_\_\_\_

**ADDITIONAL NOTES:**

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## Agent Authorization Form

I, John C. Encinas, the owner(s) of the subject property, understand that by completing this form I hereby authorize Go West Building Design LLC to act as my agent. I understand that said agent will be authorized to submit applications on my behalf. I also understand that once an application has been submitted that all future correspondence will be directed to said agent.

1) John C. Encinas  
 \_\_\_\_\_  
 Property Owner Name(s) (print)

State of Washington )  
 County of Island )

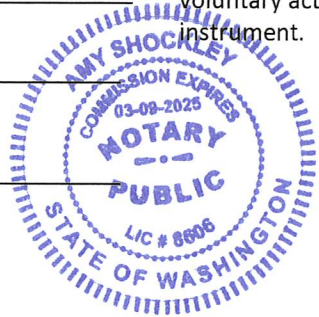
[Signature]  
 \_\_\_\_\_  
 Signature(s)

I certify that I know or have satisfactory evidence that John C. Encinas signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

2) \_\_\_\_\_  
 Property Owner Name(s) (print)

\_\_\_\_\_  
 Signature(s)

\_\_\_\_\_  
 Date



Dated 8-7-24

Signature of Notary Public [Signature]

Printed Name Amy L. Shockley

Residing at Oak Harbor

My appointment expires 3-9-25

1) \_\_\_\_\_  
 Property Owner Name(s) (print)

State of Washington )  
 County of \_\_\_\_\_ )

\_\_\_\_\_  
 Signature(s)

I certify that I know or have satisfactory evidence that \_\_\_\_\_ signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

2) \_\_\_\_\_  
 Property Owner Name(s) (print)

\_\_\_\_\_  
 Signature(s)

\_\_\_\_\_  
 Date

Dated \_\_\_\_\_

Signature of Notary Public \_\_\_\_\_

Printed Name \_\_\_\_\_

Residing at \_\_\_\_\_

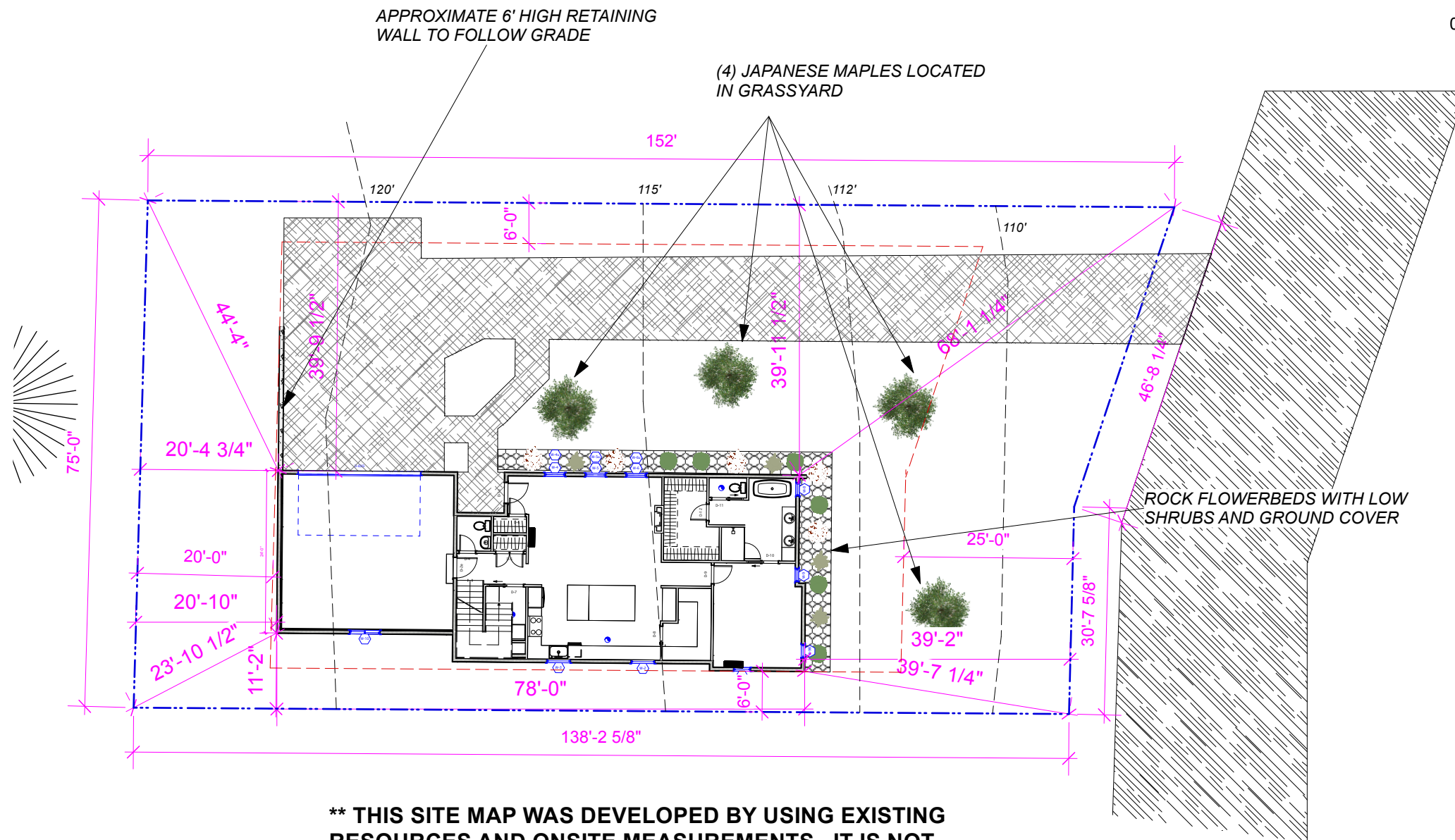
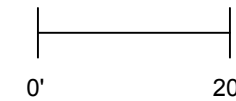
My appointment expires \_\_\_\_\_

Owner: **AMERINE**  
 Address: **XXXXX**  
**COUPEVILLE WA**  
 PARCEL: **S7302-04-00002-0**

Scope of project: **LOT 2 NEW SFR**



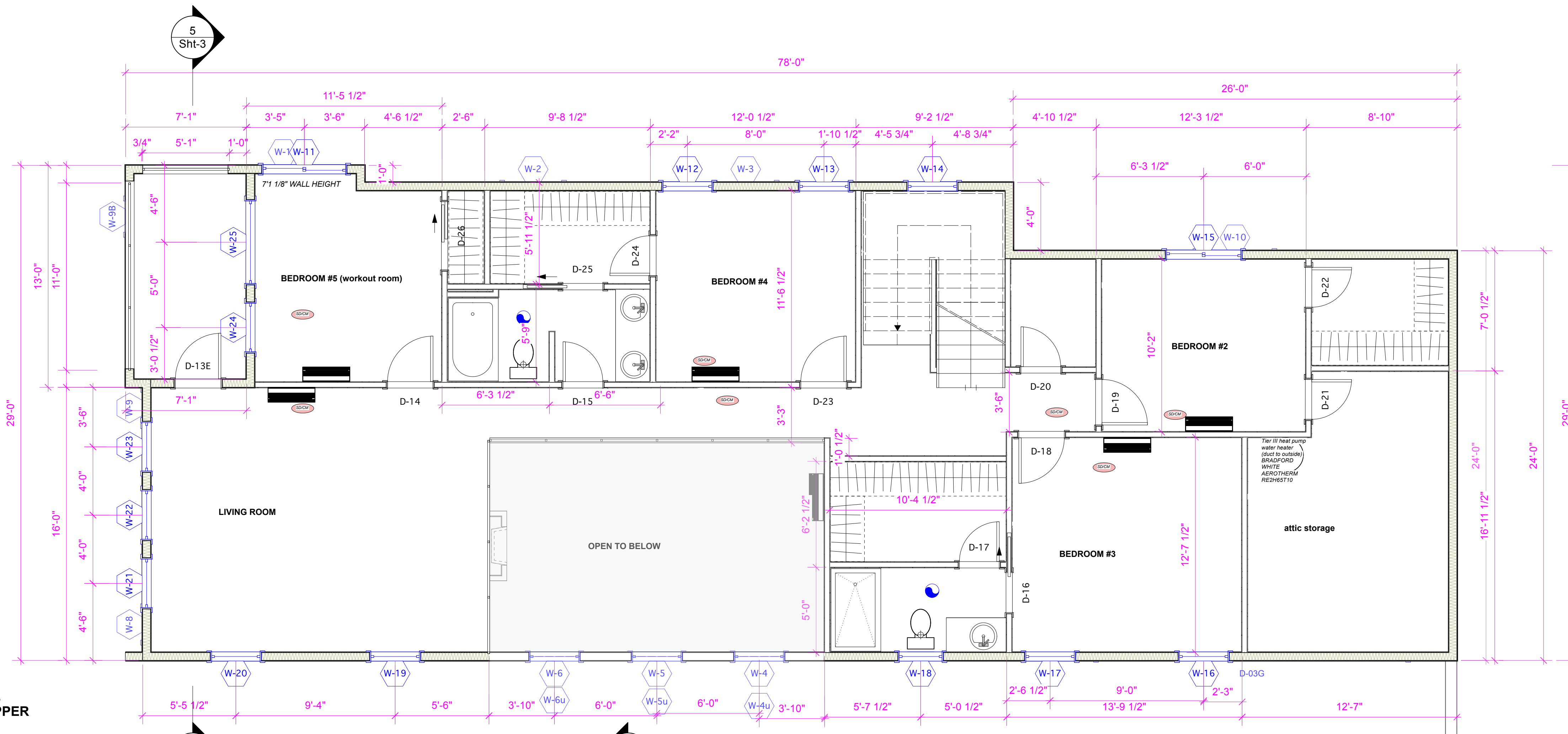
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**\*\*\*\*OUR INTENT WAS TO PULL THE FRONT OF THE HOUSE BACK FROM THE FRONT SETBACK LINE AND ADD LANDSCAPING TO HELP MAKE THE WEST WALL MORE APPEAR TO BE THE FRONT OF THE RESIDENCE. WHILE MAKING THE NORTH FACE OF THE HOUSE MORE APPEAR AS A "SIDE". WITH THE NARROW AND DEEP STYLE OF HOME PULLED AWAY FROM THE FRONT SETBACK AND SET INTO THE SLOPE (BACK SIDE OF THE GARAGE) AGAIN TO HELP MINIMIZE THE LOOK WHILE BEING ABLE TO TAKE ADVANTAGE OF THE VIEW FROM THE SECOND LEVEL OF THE HOME. ONCE LANDSCAPING AND YARDS ARE ESTABLISHED IT WILL BE VERY CLEAR WHERE THE ENTRY TO THE HOUSE IS LOCATED. THE EAST SIDE OF THE HOME WILL BE SHIELDED FROM PUBLIC VIEW ONCE THE NEIGHBORING LOT IS DEVELOPED. THE PROPERTY TO THE SOUTH IS OWNED BY THE TOWN OF COUPEVILLE AND HAS THE DEVELOPMENT RIGHTS OWNED BY THE WHIDBEY CAMANO LAND TRUST AND SHOULD REMAIN FORRESTED IN PERPETUITY.**

**\*\* THIS SITE MAP WAS DEVELOPED BY USING EXISTING RESOURCES AND ONSITE MEASUREMENTS. IT IS NOT A LEGAL SURVEY.**

**UPPER FLOOR**  
Scale: 1/4" = 1'-0"



Door Schedule									
Mark	Nominal Size	Door Operation	Slab Style	Door Style	Door Frame	Fire Rating	Comments		
D-1	3'0"	6'8" Swanna Simple	Panel	N/A	N/A	6-1/2"			
D-2	3'0"	6'8" Swanna Simple	Panel	N/A	N/A	6-1/2"			
D-3	3'0"	6'8" Swanna Simple	Panel	N/A	N/A	6-1/2"			
D-4	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-5	3'0"	6'8" Swanna Simple	Panel	N/A	N/A	6-1/2"			
D-6	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-7	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-8	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-9	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-10	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-11	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-12	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-13	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-14	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-15	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-16	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-17	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-18	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-19	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-20	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-21	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-22	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-23	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-24	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-25	2'4"	6'8" Swanna Simple	Panel	N/A	N/A	4-1/2"			
D-26	3'0"	6'8" Slider	Panel	N/A	N/A	4-1/2"			

Window Schedule					
Mark	Nominal Size	Details	Comments		
W-1	2'0"	4'8" Casement	TRUE		
W-2	3'0"	4'0" Fixed Glass	FASLE		
W-3	3'0"	4'0" Casement	FASLE		
W-4	4'0"	6'0" Fixed Glass	FASLE		
W-5	3'0"	6'8" Casement	FASLE		
W-6	3'0"	6'8" Fixed Glass	FASLE		
W-7	3'0"	6'8" Fixed Glass	FASLE		
W-8	2'0"	2'0" Fixed Glass	FASLE		
W-9	2'0"	4'8" Fixed Glass	FASLE		
W-10	4'0"	2'0" Horizontal Slider	TRUE		
W-11	6'0"	3'0" Horizontal Slider	TRUE		
W-12	3'0"	3'0" Casement	TRUE		
W-13	3'0"	3'0" Casement	TRUE		
W-14	3'0"	6'8" Fixed Glass	FASLE		
W-15	4'8"	3'0" Horizontal Slider	TRUE		
W-16	3'0"	3'0" Casement	TRUE		
W-17	3'0"	3'0" Casement	TRUE		
W-18	2'4"	1'8" Casement	FASLE		
W-19	3'0"	3'0" Fixed Glass	FASLE		
W-20	3'0"	3'0" Fixed Glass	FASLE		
W-21	3'0"	3'0" Fixed Glass	FASLE		
W-22	3'0"	3'0" Custom	FASLE	UNIQUE SHAPE	
W-23	3'0"	1'8" Custom	FASLE	UNIQUE SHAPE	
W-24	3'0"	3'0" Fixed Glass	FASLE	UNIQUE SHAPE	
W-25	5'0"	2'4" Fixed Glass	FASLE	UNIQUE SHAPE	

**PROVIDE HERO 120H FRESH AIR HRV SYSTEM PER CODE**  
**EXHAUST FANS TO BE FV-0511VQI**

**MAIN FLOOR. 1407 SF**  
**GARAGE 637 SF**  
**COVERED ENTRY 36 SF**  
**UPPER LIVING. 1738**  
**UPPER COVERED DECK 88 SF**

**TOTAL LIVING 3161 SF**

**2021 WSEC COMPLIANCE NOTES:**  
R-38 FLOOR INSULATION  
R-60 CEILING  
R-21 BATT INSULATION @ EXTERIOR WALLS  
WINDOWS U-0.28 OR BETTER

**8.0 CREDITS REQUIRED**

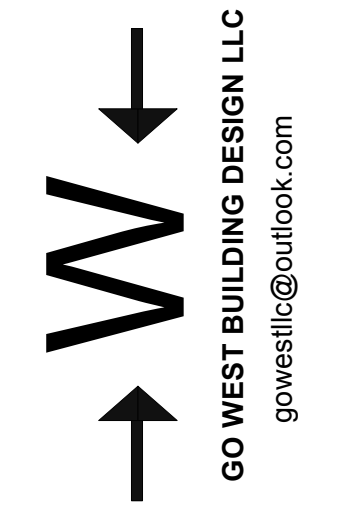
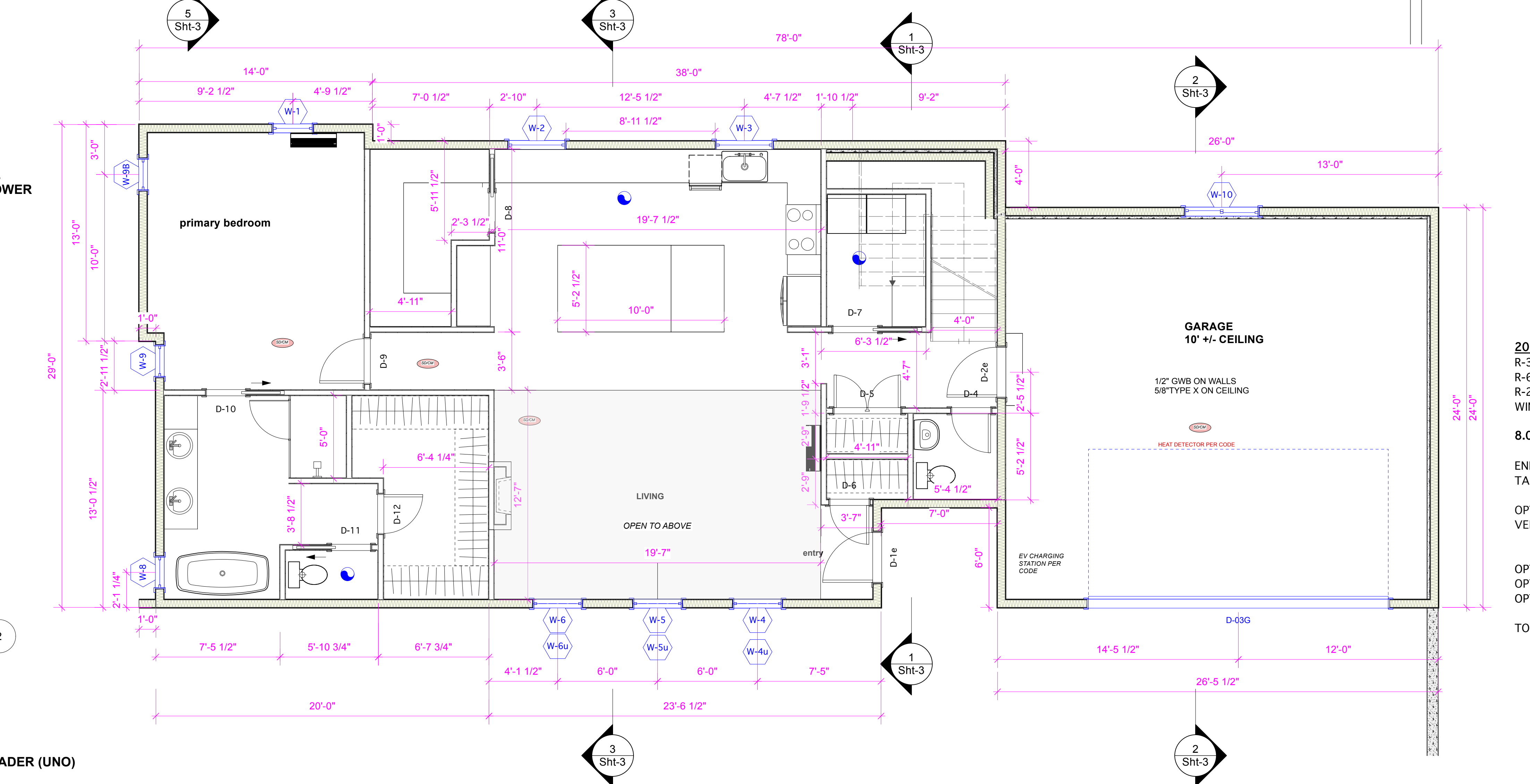
ENERGY EQUALIZATION #4, VARIABLE REFRIGERANT HEAT PUMP MEETING STANDARDS OF TABLE C 403.3.2(2) OR TABLE C403.3.2(9). **3.0 CREDITS**

OPTION 2.1. REDUCED AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR AND WHOLE HOUSE VENTILATION SYSTEM WITH MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF 0.65 **1.0 CREDITS**

OPTION 3.7 MINI SPLIT HEAT PUMP (HSPF 10.0 OR BETTER) **1.5 CREDITS**  
OPTION 3.11. ENERGY STAR CERTIFIED SMART THERMOSTAT **0.5 CREDITS**  
OPTION 5.6 HEAT PUMP WATER HEATER TIER III **2.0 CREDITS**

**TOTAL ENERGY CREDITS = 8.0**

**LOWER FLOOR**  
Scale: 1/4" = 1'-0"



Issue Notes		Date
No.		

Designed By	Date	Revision	Project ID	Project Name
CODY WEST	4/7/25		AMERINE	AMERINE SFR VII.VAW
Checked By				
Reviewed By				
Submitted By				
Project Manager				

**GO WEST BUILDING DESIGN LLC**  
2288 VAN DAM RD  
Coupeville, WA 98239  
(360) 914-0276 gowestllc@outlook.com

**AMERINE CONCEPT**  
207 NW 3RD ST  
COUPEVILLE, WA

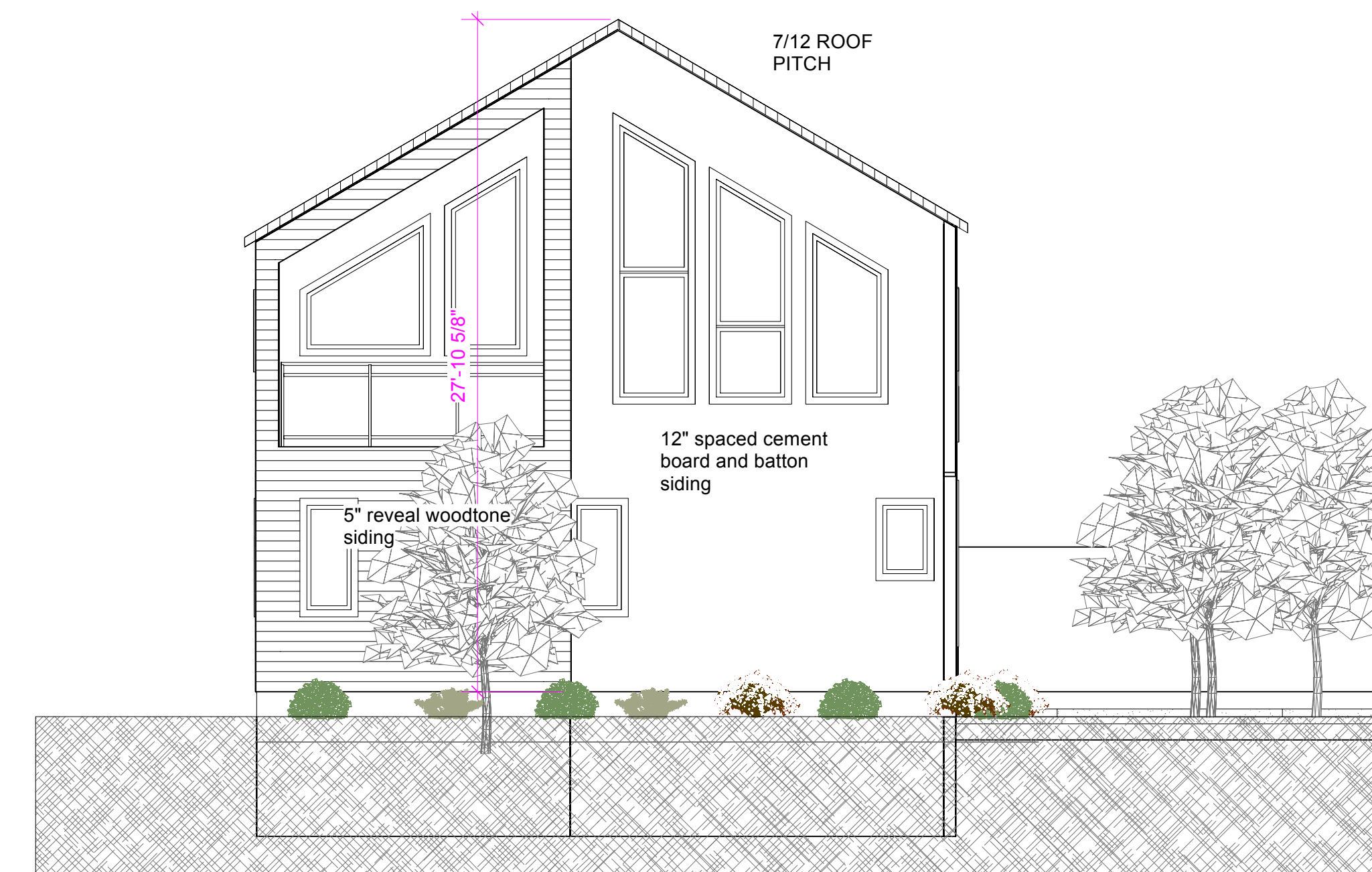
**MAIN FLOOR/UPPER DOOR/WINDOW SCHEDULE**

Scale: 1/4" = 1'-0"

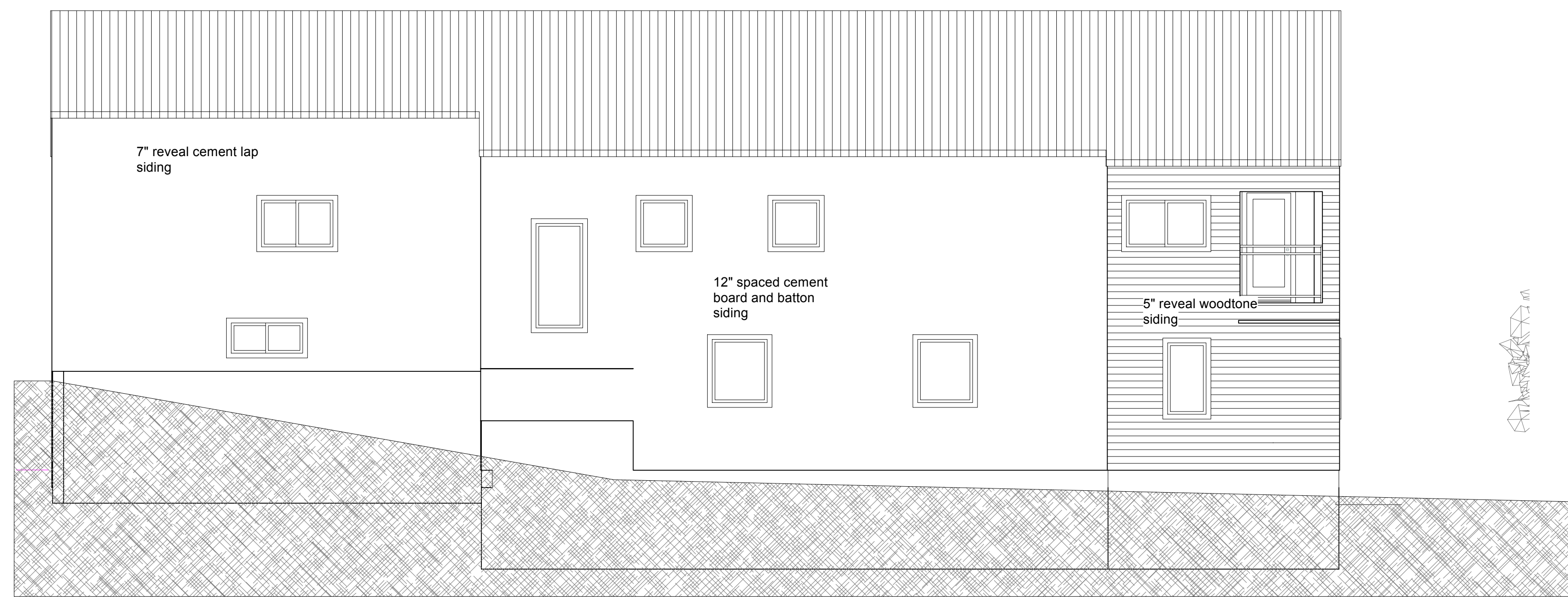
1 WEST  
Scale: 3/16" = 1'-0"



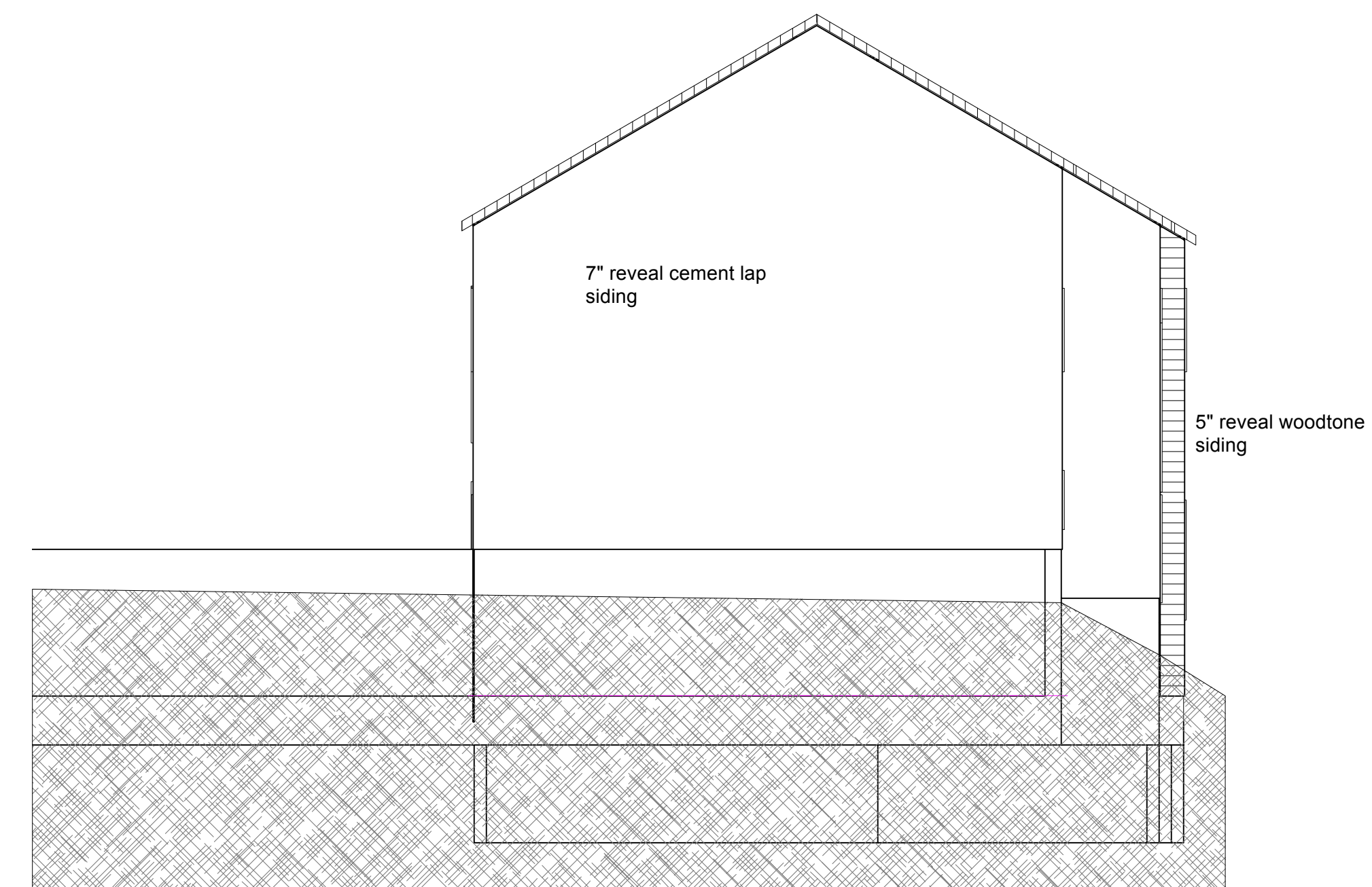
3 NORTH  
Scale: 3/16" = 1'-0"



2 EAST  
Scale: 3/16" = 1'-0"

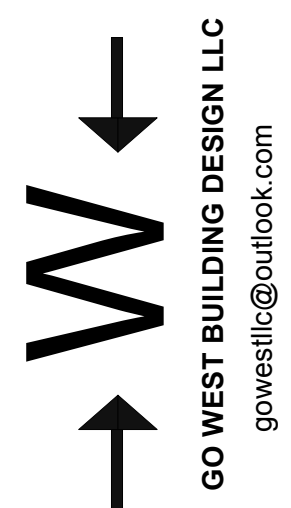


4 SOUTH  
Scale: 3/16" = 1'-0"



\*\*\*\*OUR INTENT WAS TO PULL THE FRONT OF THE HOUSE BACK FROM THE FRONT SETBACK LINE AND ADD LANDSCAPING TO HELP MAKE THE WEST WALL MORE APPEAR TO BE THE FRONT OF THE RESIDENCE WITH A SIDEWALK FROM THE ENTRY TO THE DRIVEWAY. THE ENTRY ALCOVE WILL BE OBVIOUS AS TO ITS LOCATION WITH THE DIFFERENT STYLE OF SIDING, SIDEWALK, AND LANDSCAPING DIRECTING FOOT TRAFFIC THAT DIRECTION. WHILE MAKING THE NORTH FACE OF THE HOUSE MORE APPEAR AS A "SIDE" AS TO ITS LANDSCAPING AND LACK OF ENTRY DOOR ON THE LOWER LEVEL THIS IS AN ITEM I SAW IN SEVERAL OTHER NEIGHBORHOODS. WITH THE NARROW AND DEEP STYLE OF HOME PULLED AWAY FROM THE FRONT SETBACK AND SET INTO THE SLOPE (BACK SIDE OF THE GARAGE) AGAIN TO HELP MINIMIZE THE LOOK WHILE BEING ABLE TO TAKE ADVANTAGE OF THE VIEW FROM THE SECOND LEVEL OF THE HOME. THE EAST SIDE OF THE HOME WILL BE SHIELDED FROM PUBLIC VIEW ONCE THE NEIGHBORING LOT IS DEVELOPED. THE WINDOWS ARE PLACE UNOFORMLY WITHIN THE ROOMS THEY ARE PLACES, WHICH DO NOT STACK FROM UPPER TO LOWER WHICH IS VERY COMMON WITHIN OUR COMMUNITY. THE PROPERTY TO THE SOUTH IS OWNED BY THE TOWN OF COUPEVILLE AND HAS THE DEVELOPMENT RIGHTS OWNED BY THE WHIDBEY CAMANO LAND TRUST AND SHOULD REMAIN FORRESTED IN PERPETUITY.

WINDOWS ALONG EAST WALL WILL HAVE MINIMAL VISIBILITY ONCE LOT 1 IS DEVELOPED.



GO WEST BUILDING DESIGN LLC  
gowestllc@outlook.com

No.	Date	Issue Notes

Designed By	4/7/25
Drawn By	AMERINE
Checked By	AMERINE SFR VII, WA
Project Manager	CODY WEST

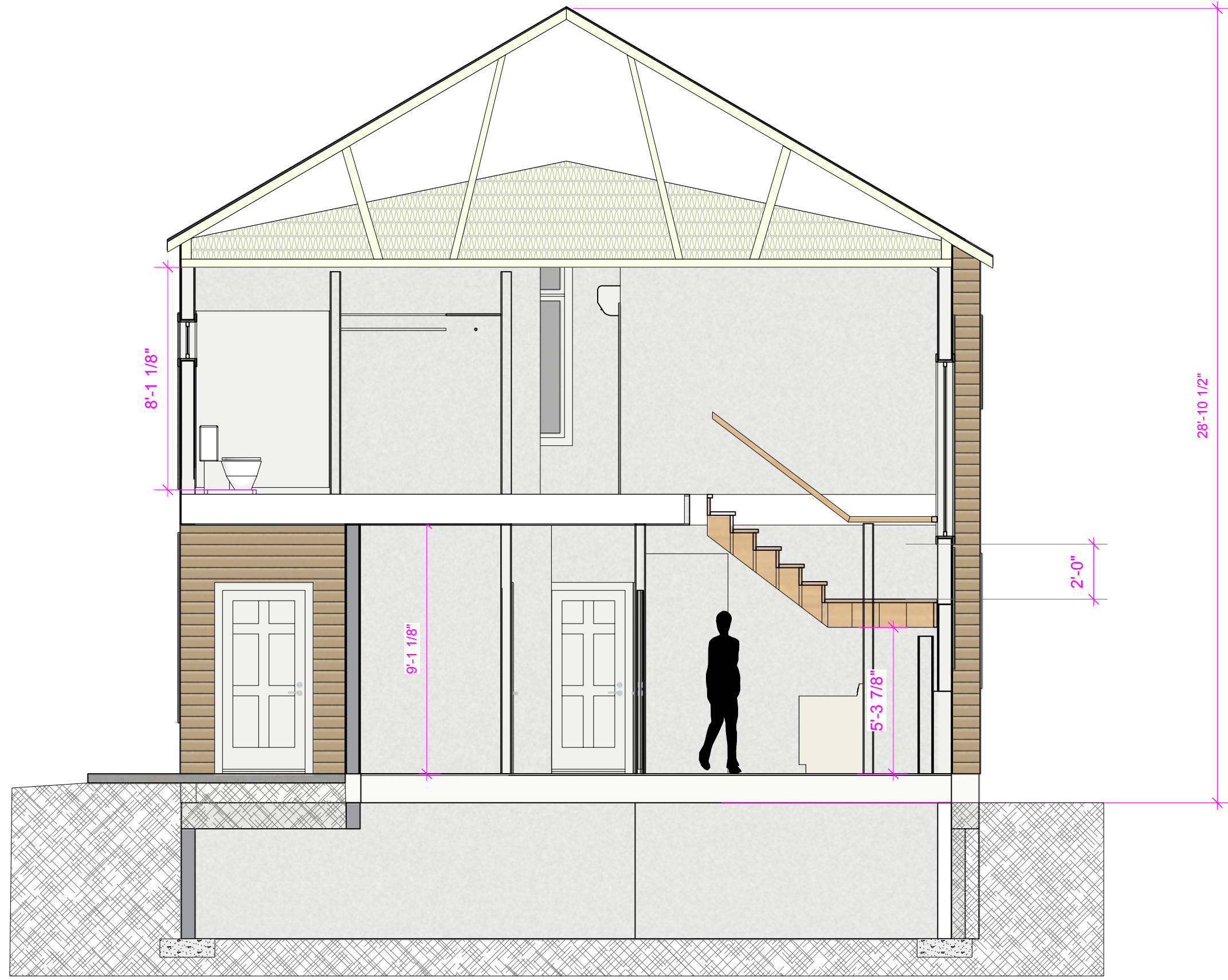
GO WEST BUILDING DESIGN LLC  
2298 VAN DAM RD  
Coupeville, WA 98239  
(360) 914-0276 gowestllc@outlook.com

AMERINE CONCEPT  
207 NW 3RD ST  
COUPEVILLE, WA

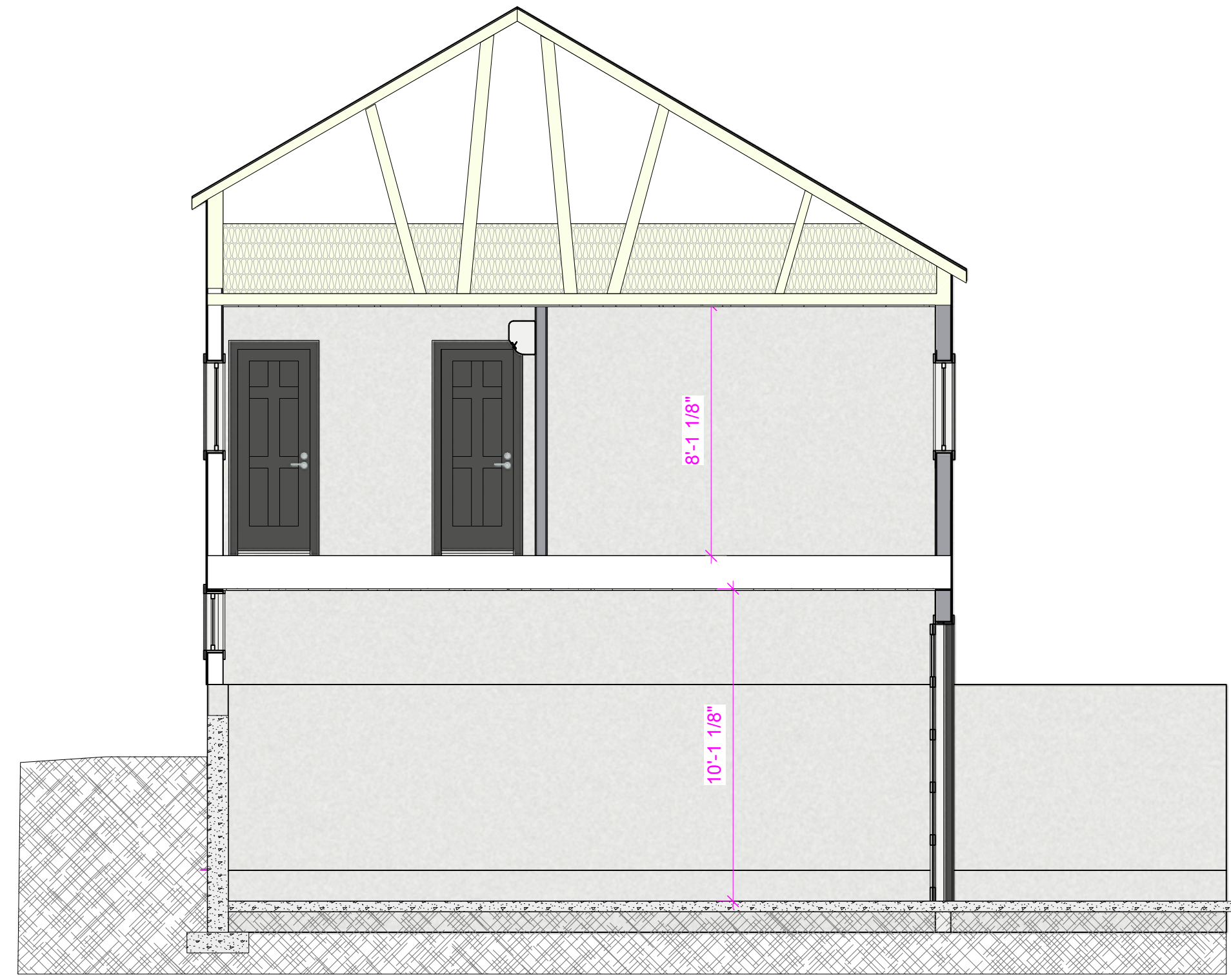
ELEVATIONS  
DOOR/WINDOW SCHEDULE

Scale: 1/4" = 1'-0"

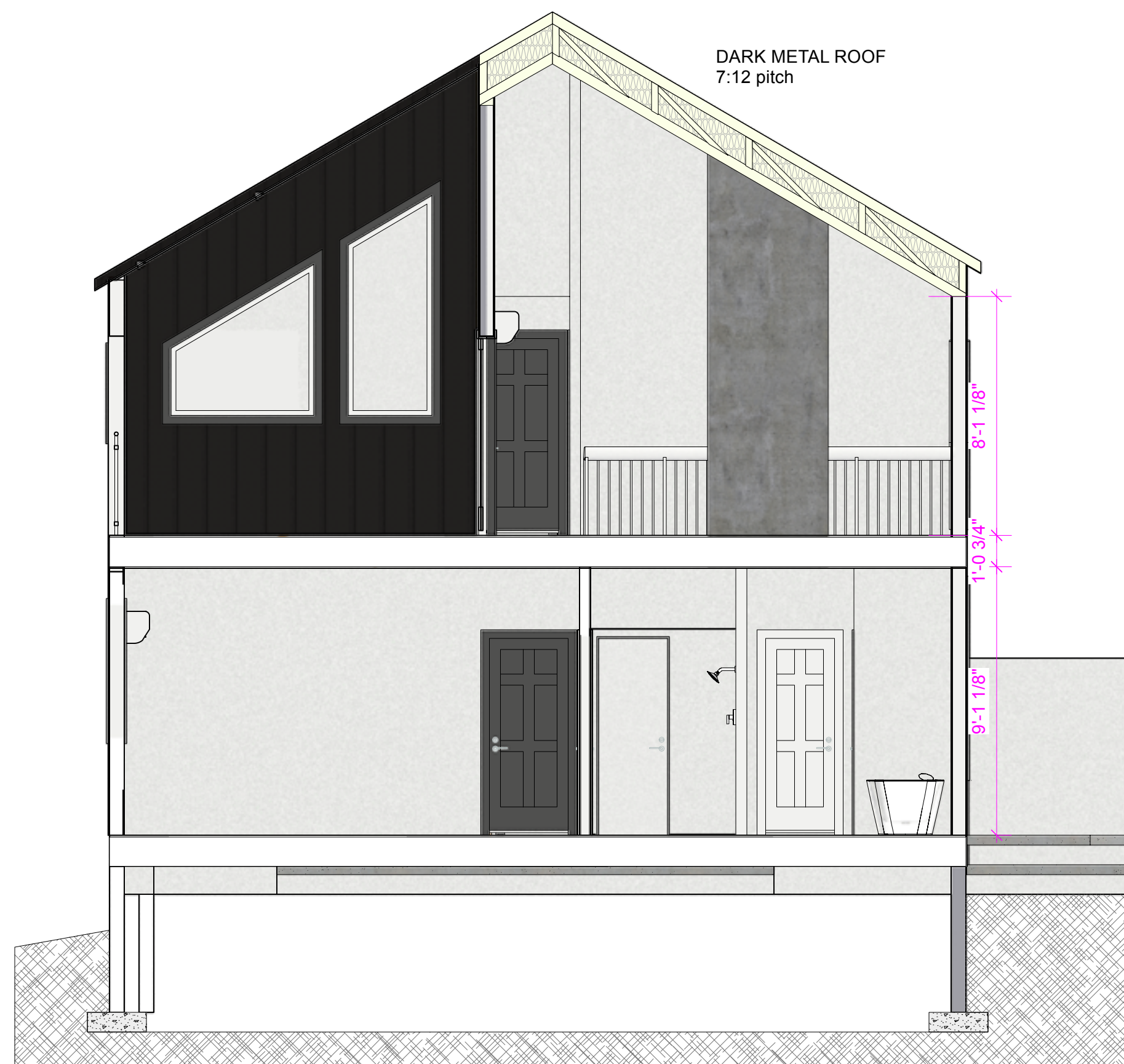
Sheet No. Sht-2  
of  
3



1 @ STAIRWAY  
Scale: 1/4" = 1'-0"



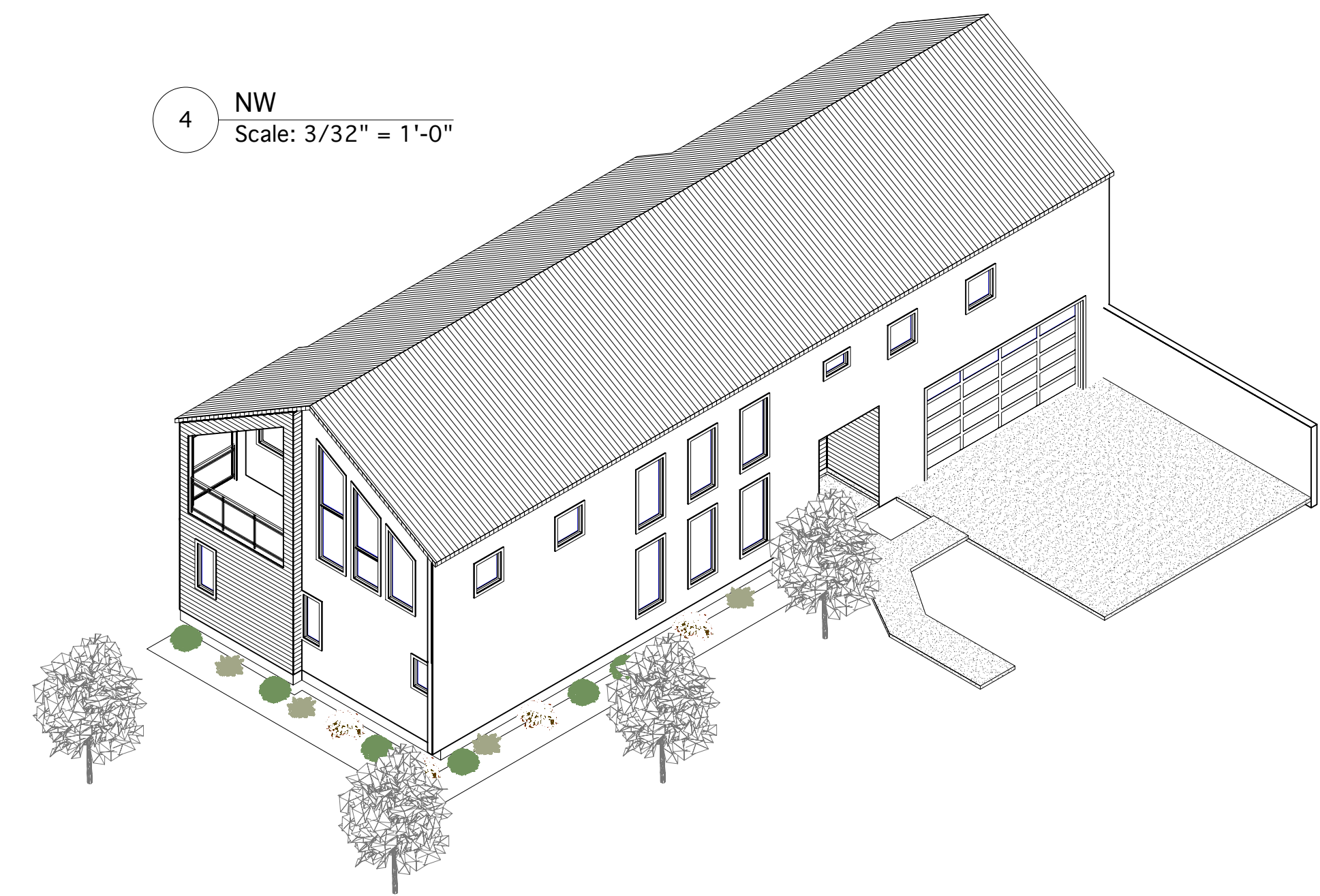
2 @ GARAGE  
Scale: 1/4" = 1'-0"



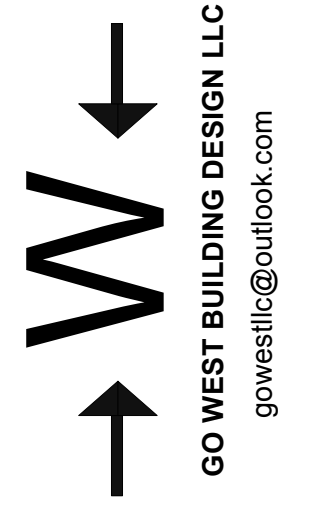
5 @ PRIMARY  
Scale: 1/4" = 1'-0"



3 @ GREATROOM  
Scale: 1/4" = 1'-0"



4 NW  
Scale: 3/32" = 1'-0"



No.	Date	Issue Notes

Designed By	4/7/25
Drawn By	Version
Checked By	Project ID
Reviewed By	Drawing Code
Submitted By	Client Name
Project Manager	Project Size

GO WEST BUILDING DESIGN LLC  
2298 VAN DAM RD  
COUPEVILLE, WA 98239  
(360) 914-0276 gowestllc@outlook.com

AMERINE CONCEPT  
207 NW 3RD ST  
COUPEVILLE, WA

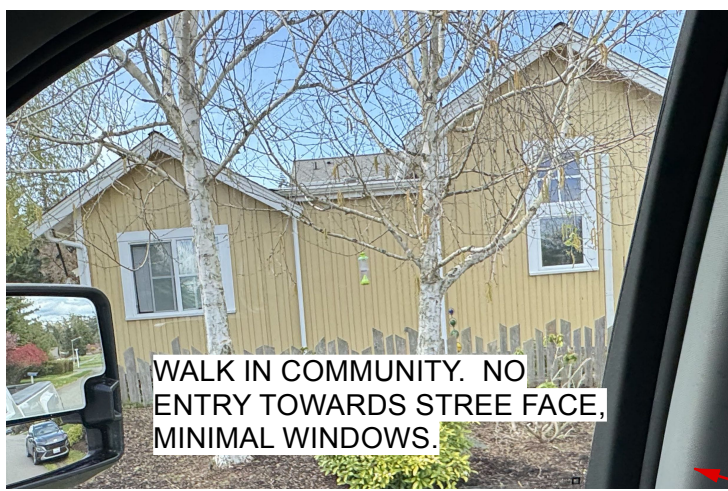
SECTIONS  
DOOR/WINDOW SCHEDULE

Scale: 1/4" = 1'-0"

Sheet No. Sht-3  
of  
3



NON-STACKING WINDOWS, SMALL OVERHANGS, MULTIPLE SIDING TYPES



WALK IN COMMUNITY. NO ENTRY TOWARDS STREET FACE. MINIMAL WINDOWS



MINIMAL OVERHANGS, ROUND UPPER WINDOW, FRONT DOOR RECESSED FROM GARAGE FRONT, MINIMAL WINDOWS ON STREET FRONTAGE



UNFINISHED HOUSE IN NEIGHBORHOOD WITH SIMILAR COLOR SCHEME AND SIDING CHOICE ON STREET FACING FACADE



MINIMAL OVERHANGS, AND ANGLED WINDOWS ON GABLE END. CAN ALMOST SEE OUR BUILDING SITE IN BACKGROUND OF THIS HOME.



GEOMETRIC WINDOWS.



MODERN STYLE ROOF SYSTEM, GEOMETRIC WINDOWS.



MINIMAL WINDOWS ON LOWER LEVEL, ENTRY NOT ON STREET SIDE, UPPER WINDOWS TOWARDS VIEW. LANDSCAPING TO SCREEN RESIDENCE



MULTIPLE SIDING STYLES, GLASS GARAGE DOORS, RECESSED ENTRY, SHED ROOF MODERN DESIGN



MULTIPLE SIDING STYLES, MULTIPLE COLORS, WHITE GARAGE DOOR, ONLY ONE WINDOW ON LOWER LEVEL OF HOME.

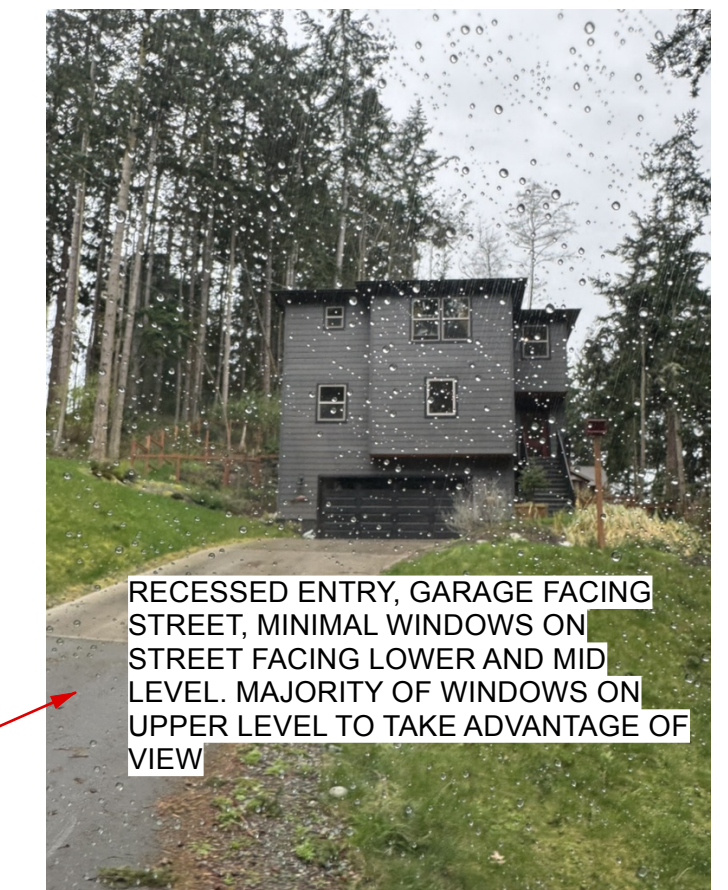


MINIMAL OVERHANGS, PREDOMINANT UPPER WINDOWS

NOTE: I DO NOT SEE ANYTHING WRONG WITH ANY OF THESE DESIGNS (WITH TWO EXCEPTIONS). THEY ALL HAVE THEIR OWN ATTRIBUTES THAT MAKE THEM NOT DETRACT FROM OUR COMMUNITY. EITHER DUE TO LOCATION, LOCATION ON LOT, COLOR CHOICE, ERA IN WHICH NEIGHBORING RESIDENCES WERE CONSTRUCTED. I UNDERSTAND AND APPRECIATE THE INTENT OF THE EBEBY DESIGN REVIEW AND THE RESERVE ITSELF. WHAT I AM TRYING TO POINT OUT IS THAT WE HAVE A MIX OF ALMOST EVERYTHING THAT YOU SUGGESTED WE CHANGE ON OUR PLANS ALREADY WITHIN OUR COMMUNITY. OUR PROPOSED HOME IS LOCATED ON A NEWLY DEVELOPED SOMEWHAT NARROW STREET THAT CONTAINS 9 HOUSES. IT HAS A BACKDROP OF PROTECTED FOREST. THIS HOUSE IS A DESTINATION NOT SOMETHING YOU WOULD CROSS ON A SUNDAY AFTERNOON DRIVE. AS YOU CAN SEE THE USE OF GEOMETRICALLY SHAPED UPPER WINDOWS IS VERY COMMON THROUGH TIME. NOT JUST THE "MODERN" LOOK



ANGLED UPPER WINDOWS, NO ENTRY DOOR VISIBLE



RECESSED ENTRY, GARAGE FACING STREET, MINIMAL WINDOWS ON STREET FACING LOWER AND MID LEVEL. MAJORITY OF WINDOWS ON UPPER LEVEL TO TAKE ADVANTAGE OF VIEW



ANGLED WINDOWS. NO OTHER RESIDENCE IN NEIGHBORHOOD CONTAINS THEM



SIMILAR COLOR SCHEME AS TO OUR PROPOSAL W/ SIMILAR SIDING SCHEMATIC

← W →  
↑ ↑ ↓ ↓

GO WEST BUILDING DESIGN LLC  
gowestllc@outlook.com

Designed By	Date	Revision	Project ID	Drawing Code	Issue Notes
Designed By	4/7/25		CODY WEST	AMERINE	
Created By			AMERINE	AMERINE SFR VII.WAK	
Submitted By			CODY WEST		
Project Manager					

Project File: AMERINE CONCEPT  
207 NW 3RD ST  
COUPEVILLE, WA

Scale: 1/4" = 1'-0"

Sht-  
of  
3

## CHAPTER 4.6 - NEW CONSTRUCTION

**Guiding Principles:** *New development should respect the Reserve's rural character. A successful new building will have compatible scale, massing, size, materials, and color that allow it to blend in to its site.*

*Redevelopment of existing strip developments shall provide buffers between parking areas and the street, improvements to interior parking lot landscaping, as well as facade improvements and frontage buildings, as necessary, to improve the visual character of the site.*

## 4.6.1 - Architectural Character

## Design Guidelines

1. The mass of larger buildings should be broken up into separate parts to give the appearance of a group of buildings rather than one large building. Use trees and other vegetation to soften their appearance. Design buildings to be generally horizontal in form in order to be less conspicuous.
2. New buildings should be similar in general character but they should also have subtle differences in design to distinguish them from historic structures. Contemporary designs which reflect the scale, materials, and color of surrounding development are appropriate. False historic structures are not appropriate. New buildings should be stylistically distinct from historic structures.
3. Building materials should be similar to materials of the surrounding neighborhood or use other characteristics such as scale, form, architectural detailing, etc. to establish compatibility.
4. Buildings in wooded areas that are substantially and permanently screened from the road by trees may have greater flexibility in massing, scale, and materials.
5. Buildings should be designed to be compatible with their surroundings in material, scale, mass, size and form. Those that seek to stand out from the surroundings are discouraged. Use simplified interpretations of architectural features that are common to historic buildings in the Reserve. Buildings or structures that are inconsistent with form or shape throughout the Reserve are not permitted in Review Area 1.
6. New buildings shall acknowledge and reinforce the characteristics of the existing development pattern within the neighborhood or setting. Modular, prefabricated, and manufactured buildings may be placed in the Reserve if they conform to the Guidelines. It is recommended that a purchaser check the Guidelines and the available options before purchasing the building or materials.
7. Wood is preferred as the primary exterior material, but fiber cement products may also be used. Metal in dark, non-reflective colors may be used in small amounts. Minimize the exterior use of bare concrete, aluminum or vinyl siding, stucco, or synthetic materials.

Concrete blocks may be used only as a foundation material. Stone may be used in small amounts if it has a historically appropriate appearance.

8. Front and side yards should be largely dedicated to landscaping. Expanses of concrete and parking areas toward the front of the site are not allowed.

#### 4.6.2 - New Construction in the Town of Coupeville's Historic Limited Commercial Zone

**Guiding Principles:** *The historic commercial core of the Town has a strong sense of place and of historical authenticity. To maintain this character, new buildings should be compatible with, but differentiated from, the historic buildings.*

*Compatible infill design responds to its surroundings. It is not possible to develop specific guidelines that will apply to all cases. Every site has its own design challenges and opportunities. There are, however, several general concepts that govern the visual relationship between an infill building and its neighbors.*

#### Design Guidelines

The design of a new infill building, particularly its front facade, is a special challenge. It should be designed to be compatible with surrounding buildings.

1. Height - Buildings in this commercial area share a similar height. Infill construction should respect this. A new facade that is too high or low can interrupt this consistent appearance and is not compatible.
2. Width - The width of a building should reflect the characteristic rhythm of the facades along the street. Design building facades with the three-part horizontal division (a clear base, a middle, and a top with detailing such as a cornice) and vertical elements typically found in Coupeville's older commercial structures.
3. Proportion - The proportion of the existing facades (the relationship between height and width) should be respected.
4. Relationship to street - The front facade should be consistent with that of its



*Although the building above right is large, its roofline is similar in height and scale to adjacent structures.*



*This building is out of scale with adjacent structures, and is not compatible in this setting.*

- b. Flat false muntins do not provide the appropriate profile or depth and have an artificial appearance; simple double-hung windows without muntins are a better choice.
  - c. If a double-hung window is not practical and an operable window is required, casement windows are acceptable as are hopper windows combined with fixed sashes of vertical proportions.
  - d. Sliding windows may only be used if egress requirements cannot be met with other acceptable window types. If slider windows are used, they must include horizontal mullions in their center to give the look of paired double-hung windows.
  - e. Most historic commercial structures used fixed windows (with transom windows) on the first level and double-hung windows on second floors. Similar window placements are encouraged on new construction.
13. Architectural detail - The use of limited amounts of architectural detailing such as decorative brackets, cornices, or eave trim should be used to make the building more compatible with its neighbors without replicating their designs. However, do not make the building overly ornate.
14. Coupeville has straightforward commercial buildings with simple forms and details, rather than ornate Victorian styles found in other towns. Emphasize primary entrances of commercial buildings with a recessed entry and transom windows. For residential

buildings, use a clearly defined entry with a porch or covered stoop.

#### 4.6.3 - Special Site Conditions and Corner Lots

##### Design Guidelines

1. The siting of buildings should respond to specific site conditions and opportunities - such as unusually shaped lots, location at prominent intersections (corner lots), unusual topography, significant vegetation, and views or other natural features - but still be in keeping with historical patterns of development.
2. The location and massing of buildings should preserve public or private views of historic buildings from public right-of-ways.
3. Protect environmentally sensitive areas such as unstable steep slopes, shorelines, wetlands, and stream corridors.
4. Corner Lots:
  - a. Orient buildings to the corner and public street fronts. Parking and automobile access should be located away from corners.
  - b. Consider placing a distinctive building entrance at the building corner closest to the street intersection.

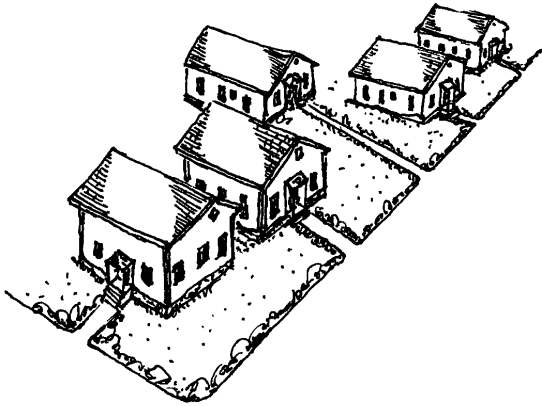
#### 4.6.4 - New Residential Construction

**Guiding Principles:** *Much of the Town of Coupeville has a relatively dense development pattern and some areas*

***contain a significant number of historic buildings. New construction, particularly in Review Area 1, should continue the historical pattern of development with buildings that are compatible with their neighbors in terms of scale, massing, materials, and color.***

#### Design Guidelines

1. In Review Area 2, and for totally screened development in Review Area 1, greater flexibility in design and materials is permitted, as long as the building does not negatively impact the historic character of the Reserve. Use historic features as inspiration for infill design, not as a template.
2. New buildings should reflect the architectural character of surrounding buildings in the following ways:
  - a. Similar proportions, scale, and roofline;
  - b. Complementary architectural style and exterior finish materials;
  - c. Complementary patterns and proportions of windows;
  - d. Similar entry configuration and relationship to the street;
  - e. Complementary architectural details or features without imitating historic features.
3. Building shapes should be compatible to historic residential structures in the Reserve.
4. Vary design in groups of buildings. Denser developments are encouraged to include details that create a sense of human scale and break down the bulk of large buildings.
5. Smaller accessory structures are encouraged in order to reduce the mass of the primary building. These structures should be consistent with the proportion of the main building and site and should be compatible with the main building in design, materials, and color.
6. Use gable and hipped roofs as primary roof forms. Avoid massing and building shapes that are inconsistent with those found in the Reserve. Avoid flat roofs except on small additions.
7. Front porches should be used to emphasize the front entry. When there is no front porch or when a front porch is not a prominent feature of the new house design, the front door must be oriented facing the street.
8. Orient the main facade, and the primary entrance of a new building, facing the street. Enhance the primary entrance with stairs, a porch, stoop, or other design features appropriate to the architectural style of the building.



*Although all of the new buildings have the appropriate form, the setback of the middle building from the sidewalk is much greater than the existing buildings and not compatible with the setting.*

9. Reflect the mass, scale, and height of adjacent structures.



*The one-story residence is not an appropriately sized or proportioned building for the streetscape. The form has a horizontal rather than vertical emphasis. The new building to the right is a similar size and has a similar form to the existing buildings.*

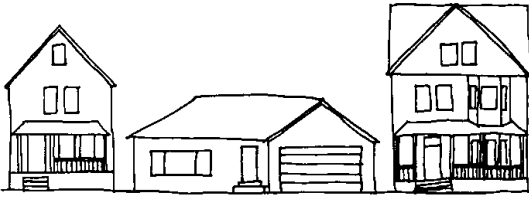
10. Building footprints should be no larger than the average footprint size of all buildings located within 200 feet of the site or those that are on parcels contiguous to the common boundary and in the same zone and of similar lot size. Accessory structures (e.g., sheds and garages) may be excluded from this calculation).
11. To avoid overwhelming smaller neighboring buildings, divide a wide facade to look like smaller building masses.
12. Use similar window types and proportions as those found on nearby

buildings. To the extent possible, multiple windows on a single wall plane should be spaced and aligned with other windows and doors on the same wall plane. Single grouped windows on a wall plane should relate to other architectural features such as roof forms, doors, or facade projections. The ratio of window-to-wall shall be similar to that on historic residences' primary facades.



*Although the size, scale, form and mass of the two new buildings are consistent with the neighboring buildings, the new building to the right has enlarged window openings inconsistent with the buildings found on the streetscape.*

13. Wood windows are preferred on buildings.
14. Acceptable window patterns for single- or double-hung windows include one-over-one, two-over-two, or four-over-four lights. Multi-paned sashes over single-paned sashes are also appropriate. Artificial muntins may be used, provided they are the wider contoured grids as opposed to the narrow flat grids. Single-paned sashes without muntins (e.g., one-over-one light) are always appropriate and are preferred over the use of artificial grids, particularly if window sections are divided by mullions of two inches or more.



*Street facing garage doors and oversized picture windows are typically not compatible in a neighborhood with historic residences. The scale of these large openings is inconsistent with the surrounding architecture.*

15. Do not locate garages, parking lots, or carports in front of the building. Screen surface parking lots with appropriate vegetation. Provide parking at the rear of the lot, when feasible, and screen parking from adjacent properties.
16. Vary design on units or groups of units. Varied details are encouraged to ensure that denser types of housing include details that create a sense of human scale and break down the bulk of larger buildings.

#### 4.6.5 - New Multi-family Housing

**Guiding Principles:** *Multi-family housing should be designed to be sensitive to the character of the surrounding neighborhood and setting. Within the Town it should relate to the street and be integrated into the community, rather than standing apart from it.*

*Multi-family housing is often designed with an internal orientation, leaving fences or blank walls facing the public road. To better integrate multi-family housing into the community, it should be designed to relate to the street and setting. Its design should reflect the site's natural topography and vegetation, and incorporate basic elements of Reserve architectural styles.*

Design Guidelines

1. Design multi-family buildings so that they do not overwhelm nearby buildings in height or mass.
2. Provide a front yard or landscaped area along the street side of the structure. Follow existing patterns of development.
3. Develop the ground floor level of all projects to be at a pedestrian scale.
4. Orient new buildings parallel to lot lines in keeping with historical building orientations.
5. Each building should have a clearly defined primary entrance. For example, provide a recessed entry way on a commercial storefront with a multi-family use, or provide a porch on a residential type structure to define its entry.
6. Provide visual interest on all facades visible from streets, alleys, and walkways. Buildings should express a human scale, using materials and forms that are consistent with those found in Town.
7. Building design should be respectful of adjacent property and the privacy and outdoor activities of adjacent residents.
8. Organize the massing of a multi-family structure to resemble the mass and scale of a traditional single-family house. Small multi-family buildings (those with two to four units) should be designed to appear as large houses rather than row houses.
9. Cluster multi-family buildings so that open fields or ridgelines remain largely

2. Elsewhere in the Reserve, use post-and-wire fencing or wood fencing open enough to see through easily. Locate fences so that they do not block views across the landscape.
  3. Fencing made of synthetic materials must be in colors that make the fencing as unobtrusive as possible. Typically, dark colors are most acceptable. White PVC is not allowed in Area 1.
  4. Hedges and hedgerows are highly recommended "fencing" approaches.
  5. Do not use chain-link fencing in any location visible from the road, unless it is effectively covered with vines or other vegetation.
  6. Do not use concrete block walls for fences.
- Emphasize pedestrian entrances in order to minimize the garage entrances.
  3. Driveways should be as narrow as possible. Generally, double-width or multiple entrances are not appropriate.
  4. Coordinate the driveway design to meet the needs of the property while following the historic design precedents in the immediate area.
  5. Common driveways shall be established wherever possible, to reduce curb cuts.
  6. Residential driveways made of twin parallel tire tracks, rather than solid paving, should be maintained where possible. Such driveways should be used in new construction where appropriate.
  7. Construct new driveways in locations that require a minimum of alteration to site features such as landscaping, retaining walls, curbs, and sidewalks.
  8. Entry features such as driveways, gates, fences, and landscaping shall be compatible with the neighborhood setting.
  9. Gated subdivision entries shall not be permitted in the Reserve.

#### CHAPTER 4.11 - PARKING AND DRIVEWAYS

**Guiding Principle:** *Parking should be designed to reduce visual and other impacts and to be as unobtrusive as possible. Driveways should be designed and located to be as unobtrusive as possible and to enhance pedestrian safety.*

##### 4.11.1 Residential

###### Design Guidelines

1. Off-street parking should not be established in front of a house, except in the approved driveway.
2. Minimize the impact of individual garage entrances where they face the street by limiting the curb cut width and visually separating the garage entrance from the street with landscaped areas.

##### 4.11.2 Nonresidential

###### Design Guidelines

1. Place parking lots beside or behind buildings whenever possible, locating them to minimize the visual impacts of parking and to enhance the pedestrian environment and streetscape.
2. Parking areas must be screened, preferably with appropriate vegetation, so that the vehicles are not the dominant



Proposed project Lot 2 / 207 NW 3rd Street. This parcel is currently vacant.



View to the West from street in front of project Lot 2 / 207 NW 3rd Street.



View from the street in front of project Lot 2 / 207 NW 3rd Street looking East.



View from street looking West from in front of project lot.



View across the street from Lot 2 / 207 NW 3rd Street



**EBEY'S LANDING HISTORIC PRESERVATION COMMISSION**  
ISLAND COUNTY COMMISSIONERS' HEARING ROOM (Room 102B)  
1 NE 6<sup>th</sup> St., COUPEVILLE, WA  
APRIL 24, 2025

**10:00: Roll Call**

**Approval of Minutes** – Minutes from the March 31, 2025 HPC Public Hearing

**Public Comment on items not on the agenda -**

**Public Hearings:**

- **COA-25-010** – S7302-04-00002-0; 207 NW Third Street, Coupeville – Encinas – Construction of a New SFR.

**Other Discussion items:**

- Ebey's Forever Grant

The Historic Preservation Commission will hear testimony from interested persons either in person or via telephone or video. Written comments may be submitted comments to Planning & Community Development; 1 NE 7th Street, Coupeville, WA 98239 for projects within the County (EBY). Projects within the Town (COA), submit written comments to the Town of Coupeville, 4 NE 7th St., Coupeville, WA 98239

Join Zoom Meeting <https://zoom.us/j/91304102115?pwd=ajlTWjJxODdRbUd3cXNwQXY2QkQ2UT09>

Meeting ID: 913 0410 2115 Passcode: 509725 Dial by your location +1 (253) 215-8782,

Meeting ID: 913 0410 2115 Passcode: 509725