



EBEY'S LANDING HISTORIC PRESERVATION COMMISSION
ISLAND COUNTY COMMISSIONERS' HEARING ROOM (Room 102B)
1 NE 6th St., COUPEVILLE, WA
November 9th, 2023

10:00: Roll Call

Approval of Minutes – Minutes from September 28, 2023

Public Comment on items not on the agenda -

Public Hearings:

COA-23-031 - R13233-354-1910, 604 NW Madrona Way, Julia Frost, Construction of a New Single-Family Residence.

COA-23-050 - S6415-00-14001-0, 301 NE Ninth St, Andrew Thompson, Removal of Enclosed Porch, and Construction of an Addition on a Historic (non-contributing) Residence.

Other Discussion items:

The Historic Preservation Commission will hear testimony from interested persons either in person or via telephone or video. Written comments may be submitted comments to Planning & Community Development; 1 NE 7th St., Coupeville, WA 98239 for projects within the County (EBY). Projects within the Town (COA), submit written comments to Town of Coupeville, PO Box 725, Coupeville, WA 98239

Join Zoom Meeting <https://zoom.us/j/93757546931?pwd=bm1wTG13Rk14RGtjeUVsYksrclpRQT09>: Meeting ID: 937 5754 6931 Passcode: 993018 Dial by your location +1 (253) 215-8782, Meeting ID: 937 5754 6931 Passcode: 993018



**CENTRAL WHIDBEY HISTORIC PRESERVATION COMMISSION
ISLAND COUNTY COMMISSIONERS' HEARING ROOM
COUPEVILLE, WA
September 28, 2023**

A recording of this meeting can be found on Coupeville's website: townofcoupeville.org. Timestamps (*hr. m. s.*) for the beginning of each item and motion are designated in the minutes.

CALL TO ORDER

Chair Bronson called the meeting to order at 10:02 a.m.

COMMISSION MEMBERS PRESENT

- ✓ Chair **Marshall Bronson**
- ✓ Vice-Chair **Katherine Baxter**
- ✓ Commissioner **Jay Adams**
- ✓ Commissioner **Danielle Bishop** (Virtual)
- ✓ Commissioner **Kevin Turkington**

STAFF PRESENT

- ✓ Ebey's Landing National Historical Reserve Manager **Marie Shimada**
- ✓ Ebey's Landing National Historical Reserve Preservation Coordinator **Josh Pitts**
- ✓ Island County Current Use Planner **Chloe Bensen**
- ✓ Town of Coupeville Planning Director **Donna Keeler**
- ✓ Town of Coupeville Assistant Planner **Joshua Engelbrecht**

APPROVAL OF AGENDA

Commissioner Turkington moved to approve the agenda for the September 28, 2023 Historic Preservation Commission meeting.

Vice-Chair Baxter seconded. *Motion passed unanimously.*

APPROVAL OF MINUTES

Commissioner Turkington moved to approve the minutes of the regular Historic Preservation Commission meeting of July 27, 2023.

Commissioner Baxter seconded. *Motion passed unanimously.*

Public Comment on items not on the agenda

No members of the public spoke on items not on the agenda.

PUBLIC HEARING

Chair Bronson provided a description of the role of the Commission, its legal basis and process, and the standards and guidelines on which its decisions are based. He asked commissioners to declare any conflicts of interest or bias regarding the applications on the agenda and to disclose any ex parte communication or site visits.

- Chair **Bronson** visited all sites
- Vice-Chair **Baxter** visited the sites for the following applications: EBY-23-038, COA-23-038, EBY-21-080, and COA-23-031
- Commissioner **Adams** visited all sites.
- Commissioner **Turkington** visited all sites.

No public challenge to the participation of a commissioner was raised.

EBY-23-043 (5m. 36s.): R13102-495-4300 – Charles Walsh - Construction of Four Storage Unit Buildings.

Island County Planner, Chloe Bonsen, presented on elements of the storage unit project. This included the vegetation proposed to be removed, screening that will remain along the property's edges, and configuration of the new construction.

Ebey's Landing National Historical Reserve Preservation Coordinator, Josh Pitts, made comments related to how buildings and uses of this type should be consolidated to one area.

DISCUSSION

Chair Bronson opened the floor for discussion.

Questions were asked and answered related to zoning and lot coverage, the demolition of the existing buildings on site, impervious surface coverage, and potential conditions include as part of the COA decision.

Comments were made in regard to the order of the permit process and how the proposal may change as other permit reviews are conducted.

The applicant, Charles Walsh, spoke at the meeting. Comments were made in regard to the errors in the site plan regarding lot coverage and open space.

No other members of the public spoke at the meeting.

MOTION (17m. 43s.)

Commissioner Turkington moved to approve the Certificate of Appropriateness as presented, including the demolition of the existing building and adopt the findings of fact as set forth presented in the application.

Commissioner Adams seconded.

Motion passed 4-0 (Baxter Abstaining).

EBY-23-036 (19m. 50s.): R03224-070-2850 – Sean Guthrie - Construction of a new single-family residence and additional dwelling unit.

Island County Planner, Chloe Bonsen, presented on elements of the new single-family residence and accessory dwelling unit. This included the proximity to historic resources, site configuration and access to the property, and design elevations of the residence.

Ebey's Landing National Historical Reserve Preservation Coordinator, Josh Pitts, made comments regarding the meetings Staff had with the applicant to work through the Reserve's concerns.

DISCUSSION

Chair Bronson opened the floor for discussion.

Questions were asked and answered in regard potential developmet / future view impacts of the area surrounding the Charlie Mitchell Barn.

Comments were made in regard to the appreciation the HPC has when applicants work with Staff on modifications to intial designs.

The applicant, Sean Guthrie, spoke at the meeting. Comments were made to thank County Staff for their work on the proposal.

No other members of the public spoke at the meeting.

MOTION (34m. 05s.)

Chair Bronson moved to approve the Certificate of Appropriateness as presented and adopt the findings of fact as set forth presented in the application.

Commissioner Baxter seconded.

Motion passed unanimously.

COA-23-038 (35m. 15s.): R13233-322-1850, 605 NW Madrona Way, Ellen Miro, two-floor addition to a historic building.

Town of Coupeville Planner, Joshua Engelbrecht, presented on elements of the single-family addition project. This included the removal of an existing addition, proposed materials, and the height, mass, and location of the proposed addition.

Ebey's Landing National Historical Reserve Preservation Coordinator, Josh Pitts, made comments regarding the secretary of Interior Standards, the compatibility the addition will have with the historic residence, and the integrity of the property / primary residence.

DISCUSSION

Chair Bronson opened the floor for discussion.

Questions were asked and answered in regard to the glazing on the proposed east elevation, and what would occur should more be learned about the existing one story addition.

Comments were made in regard to 605 Madrona being constructed by H.B. Lovejoy.

The applicant, Scott Rudat, spoke at the meeting. Comments were made to thank the entire team, both Staff and architect, and to give context to the overall project.
No other members of the public spoke at the meeting.

MOTION (1hr. 5m. 37s.)

Commissioner Turkington moved to approve the Certificate of Appropriateness as amended and adopt the findings of fact as set forth presented in the application.
Commissioner Bishop seconded.
Motion passed unanimously.

EBY-23-046 (1hr. 7m. 37s.) S8060-00-10001-0 – Steve Eelkema- Restore / Repair of the Historic Hingston Tumbell Post Office Store Complex.

Island County Planner, Chloe Bonsen, presented on elements of the restoration/repair of recently damaged Penn Cove Pottery building. This included the scope of work, seismic requirements, and the extent of damage to the building.

Ebey's Landing National Historical Reserve Preservation Coordinator, Josh Pitts, did not make any comments.

DISCUSSION

Chair Bronson opened the floor for discussion.

No questions were asked, nor comments made by the Historic Preservation Commission.

The applicant, Steve Eelkema, spoke at the meeting. Comments were made in regard to the challenges of meeting seismic code and how sacrifices may need to be made as the reconstruction/repair process takes place.

No other members of the public spoke at the meeting.

MOTION (1hr. 18m. 29s.)

Commissioner Turkington moved to approve the Certificate of Appropriateness as presented and adopt the findings of fact as set forth presented in the application.
Commissioner Adams seconded.
Motion passed unanimously

EBY-21-080 (1hr. 20m. 50s.): R13122-202-2000 – Washington State Ferries, revision to previously approved Agent's office.

Island County Planner, Chloe Bonsen, presented on the revisions to the previously approved project. This included changes to landscaping, ramp configuration, and utility box.

Ebey's Landing National Historical Reserve Preservation Coordinator, Josh Pitts, did not make any comments.

DISCUSSION

Chair Bronson opened the floor for discussion.

No questions were asked, nor comments made by the Historic Preservation Commission.

The applicant did not speak at the meeting.

No other members of the public spoke at the meeting.

MOTION (1hr. 29m. 18s.)

Commissioner Baxter moved to approve the Certificate of Appropriateness as presented and adopt the findings of fact as set forth presented in the application.

Commissioner Turkington seconded.

Motion passed unanimously

COA-23-031 (1hr. 30m. 18s.): R13233-354-1910, 604 NW Madrona Way, Julia Frost, Construction of a New Single-Family Residence.

Town of Coupeville Planner, Joshua Engelbrecht, presented on elements of the proposed construction of a new single-family residence. This included proposed elevations, materials, mass, and garage design.

Ebey's Landing National Historical Reserve Preservation Coordinator, Josh Pitts, made comments regarding the time spent working with the applicants to mitigate impacts to the Reserve, the appropriateness of the proposed fencing based on the characteristics of the property itself and its use.

DISCUSSION

Chair Bronson opened the floor for discussion.

Questions were asked and answered in regard to the characteristics of a Saltbox style building, alternative layouts of the building, and the measured length of the south facade and how it relates to surrounding buildings.

Comments were made in regard to the contrast between this property and the property across the street, the perception of the front door as subservient to the garage door, the critical view corridor of Madrona Way, the window fenestration, how the building fits within Coupeville, the slope of the south facade roof, and how individual aspects of a project that are in conformance with the guidelines do not necessarily result in a project that conforms to the guidelines overall.

The applicant, Quinten Farmer, spoke at the meeting. Comments were made to thank Staff, and to give context to the overall project.

The architect, Thomas Schaer, spoke at the meeting. Comments were made to give a high-level breakdown of the design process for this project

No other members of the public spoke at the meeting.

MOTION (2 hr. 19 m. 40s.)

Commissioner Turkington moved to table discussion of COA-23-031 until the October 26, 2023 regular Historic Preservation Commission meeting to allow the applicants to consider comments made by the HPC.

Commissioner Baxter seconded.

Motion passed unanimously

OTHER BUSINESS

No other business was discussed

ADJOURNMENT

The meeting was adjourned at 12:22 pm.

Respectfully submitted,

Joshua Engelbrecht, Assistant Planner

DRAFT



Ebey's Landing National Historical Reserve

Certificate of Appropriateness

Julia Frost, on behalf of Quinten Farmer + Libby Brittain
604 NW Madrona Way, Coupeville, WA
COA-23-031

Level A or B (HPC review requested)

Level C

Jurisdiction:

Town of Coupeville

I – PROJECT SUMMARY and BACKGROUND

The applicant requests a Certificate of Appropriateness for a proposal to construct a new single-family residence located at 604 NW Madrona Way. The proposed building has a footprint of 1,994 sq. ft. The building is proposed to be constructed of a dark metal standing seam roof, unfinished wood siding, and aluminum/wood clad doors and windows.

Additional background information is available as part of the September 28, 2023 Historic Preservation Commission meeting packet. This staff report serves as a supplement to the previous staff report following comments made and feedback derived from the September 28, 2023 HPC meeting.



1: Updated Front Facade

II – PERMIT DATA

Building or Land Use Permit Type	Certificate of Appropriateness
Application Number	COA-23-031
Application Date	June 12, 2023
Applicant/Owner	Julia Frost / Quinten Farmer + Libby Brittain

III – SITE DATA

Address	604 NW Madrona Way
Location	Review Area 1
Parcel Number(s)	R13233-354-1910
Size of parcel(s)	0.32 Acres

IV – STAFF CONTACTS

Title	Name	Phone	E-mail
Assistant Planner	Joshua Engelbrecht	360-678-4461 Ext 104	assistantplanner@townofcoupeville.org

V. DISCUSSION

The applicants submitted the initial application on June 12, 2023. Over the proceeding months Staff has held meetings and corresponded via email numerous times with the architects and property owners. This application was brought to the Historic Preservation Commission on September 28, 2023 where the Commission voted to table discussion until a future HPC meeting to allow the applicants to incorporate feedback from the meeting. Several changes were made to the design including changes to the 2nd story windows, kitchen windows, front door placement, and materials and design of the driveway and pedestrian sidewalk.

Appendix C outlines the changes made by the applicant and responses to the Commissioner's Comments from the September 28, 2023 meeting (pg. 32 - Appendix C / pg. 61 - 11/09/2023 packet).

VI. APPLICABLE DESIGN GUIDELINES

Staff has identified the following design guidelines as particularly relevant to the proposal. This staff report shows updated findings for specific relevant guidelines, which are indicated in **blue**, and does not include analysis of all the guidelines that were present in the previous staff report.

CHAPTER 4.4 – Land Division

4.4 – Land Division

Guideline	Staff Analysis
4.4.1	No change to the property lines are occurring. The property is an irregularly shaped (triangle) lot that has existed likely since the current house was built in 1967.
4.4.2	The proposed driveway is designed to preserve an existing mature madrona tree. The proposed residence does not disrupt the historical pattern of development in this neighborhood.

4.4.3	The proposed residence is positioned in the corner of the buildable area and leaves a large portion of the lot open with views to Penn Cove.
4.4.4	N/A
4.4.5 – 4.4.6	Views of nearby historic buildings are not impacted. The proposed residence is expected to increase scenic views to Penn Cove from the public right-of-way. The lot itself is uniquely situated so that regardless of the position of the residence, it is the focal point as someone drives eastward on Madrona way.
4.4.7	Vegetation between the proposed house and the public right-of-way is proposed to partially screen the residence.
4.4.8	No change to existing utility lines is proposed.

CHAPTER 4.5 – Site Development

4.5.1 – Pre-Construction Permit Coordination and Site Planning

Town Setting

Guideline	Staff Analysis
4.5.1.1 – 4.5.1.7	The proposed driveway and pedestrian access are not oversized and reduces the amount of pavement compared to the existing residence. The proposed driveway is along the edge of an existing stand of mature trees and is designed to preserve a mature madrona tree. The rhythm of development does not change, and the new residence is consistent in regard to orientation to, and setback from, the public right-of-way. The guidelines encourage “soft” pathways instead of sidewalks in regard to pedestrian access. However, unpaved pathways have accessibility and mobility considerations that are often times contrary to the guidelines that highlight Coupeville’s sociability and livability.

CHAPTER 4.6 – New Construction

4.6.1 – Architectural Character

Guideline	Staff Analysis
4.6.1.8	Minimal pavement for the houses entrance is proposed. A proposed garden is expected in the front yard and serves as screening to the front façade. The proposed driveway and pedestrian walkway are separated by additional vegetation and changes in material.
4.6.4.7 – 4.6.4.8	The proposed front porch is recessed into the bulk of the building. The front façade is generally a solid horizontal plane except for the entry way. The front door is oriented to the street. The proposed sidewalk/pedestrian entrance directly leads to front door and enhances the entrance.
4.6.4.14	The proposed windows are not single or double hung. The windows do not have muntins. The kitchen and upper story windows are divided horizontally by mullions. The proposed windows are rectangular in form and the 2nd story windows are centered along the ridgeline of the roof.

VII. RECOMMENDED MOTION

Based on the record developed to date, including application materials, staff report, evidence presented, and comments made at the public meeting, and finding application to COA-23-031 to be consistent with the Ebey's Landing National Historic Reserve Design Guidelines, I move to recommend granting a Certificate of Appropriateness.

VIII. FINDINGS OF FACT AND CONCLUSIONS OF LAW

Based on the analysis presented above, staff proposes the following findings of fact with respect to Application No. COA-22-031

1. An application was submitted for a Certificate of Appropriateness on June 12, 2023 for the construction of a new single-family residence.
2. The site is within Review Area 1 of Ebey's Landing National Historical Reserve and is classified as new construction within Review Area 1 requiring action on a Certificate of Appropriateness by the Historic Preservation Commission.
3. On September 19, 2023, the Ebey's Reserve Committee reviewed the application and found it to be consistent with the applicable Ebey's Landing National Historical Reserve Design Guidelines.
4. In accordance with Chapter 16.13 of the Coupeville Town Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on September 28, 2023 and November 9, 2023 and all wishing to be heard were heard.
5. In accordance with Guidelines in Chapter 4.6.1 the buildings are compatible in scale, massing, size, materials, and color.
6. In accordance with guidelines in Chapter 4.6.5 the proposed buildings are sensitive to the surrounding buildings and incorporate common elements found elsewhere in the Reserve.
7. After review of the proposed application and consideration of public comment and staff's recommendation, the Historic Preservation Commission finds the application consistent with the applicable Ebey's Landing National Historical Reserve Design Guidelines.

IX. APPEAL PROCESS

A decision to approve, conditionally approve, or deny a Certificate of Appropriateness may be appealed as an administrative determination, together with the associated permit, in conformance with the appeal procedures set forth in Coupeville Town Code Chapter 2.52 and Sections 16.06.060 and 16.13.080.

Appendix A
September 28, 2023
Staff Report



Ebey's Landing National Historical Reserve

Certificate of Appropriateness

Julia Frost, on behalf of Quinten Farmer + Libby Brittain
604 NW Madrona Way, Coupeville, WA
COA-23-031

Level A or B (HPC review requested)

Level C

Jurisdiction:

Town of Coupeville

X

I – PROJECT SUMMARY and BACKGROUND

The applicant requests a Certificate of Appropriateness for a proposal to construct a new single-family residence located at 604 NW Madrona Way.

The existing building is a non-historic residence that is proposed to be demolished in conjunction with this application (COA-23-030). The demolition of non-historic structures is reviewed under the Level B process and was found to be appropriate by the Ebey's Reserve Committee with the condition that this application, COA-23-031, be approved prior to the approval of the demolition.

The proposed building has a footprint of 1,994 sq. ft. The building is proposed to be constructed of a dark metal standing seam roof, vertical unfinished wood siding, and aluminum/wood clad doors and windows.

The existing boat house located along NW Madrona Way is expected to be retained and the applicants are proposing vegetation and fencing along the front façade to screen the porch from the road.

II – PERMIT DATA

Building or Land Use Permit Type	Certificate of Appropriateness
Application Number	COA-23-031
Application Date	June 12, 2023
Applicant/Owner	Julia Frost / Quinten Farmer + Libby Brittain

III – SITE DATA

Address	604 NW Madrona Way			
Location	Review Area 1			
Parcel Number(s)	R13233-354-1910			
Size of parcel(s)	0.32 Acres			
Historic Structure?	Yes		No	X
Proximity to Historic Structures?	Yes	X	No	
Zoning Designation	RM-9600			
Critical Areas/Overlays?	Yes	X	No	
Shoreline Jurisdiction?	Yes	X	No	
NPS Easements?	Yes		No	X

IV – STAFF CONTACTS

Title	Name	Phone	E-mail
Assistant Planner	Joshua Engelbrecht	360-678-4461 Ext 104	assistantplanner@townofcoupeville.org

V. DISCUSSION

The applicants submitted the initial application on June 12, 2023. Over the proceeding months Staff has held meetings and corresponded via email numerous times with the architects and property owners. The existing site is an extremely unique and constrained lot. The triangle shape, Coupeville’s height limit, and proximity to steep slopes which presents challenges to redevelop an existing non-conforming structure into a conforming property.

The proposed residence has a footprint of 1,994 sq. ft. and is two-stories above ground, with a daylight basement, oriented north. The roofline of the proposal is classified under the Saltbox style. This style incorporates one gable extended to cover additional ground-floor rooms. Saltbox buildings within the Reserve are fairly common and include the Powell House (708 NW Broadway) and Thomas Coupe House (504 NE Ninth). Additional Discussion is supplied by the applicants (Exhibit A – Saltbox Typology).

VI. APPLICABLE DESIGN GUIDELINES

SECRETARY OF THE INTERIOR’S STANDARDS

The Secretary of the Interior’s Standards apply:	Yes		No	X
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DESIGN GUIDELINES

Staff has identified the following design guidelines as particularly relevant to the proposal.

CHAPTER 4.6 – New Construction

Guiding Principle: New development should respect the Reserve's rural character. A successful new building will have compatible scale, massing, size, materials, and color that allow it to blend into its site.

4.6.1 – Architectural Character

Guideline	Staff Analysis
4.6.1.1	<i>The proposed building footprint is approximately 1,994 Sq. ft.(approx. the same footprint as the existing house). The proposed landscaping plan includes vegetation to screen the building. The building is generally horizontal in form.</i>
4.6.1.2 – 4.6.1.3	<i>The building does not convey a false sense of history and is stylistically distinct from the surrounding historic resources. The proposed materials and color are appropriate. The proposed mass is similar surrounding parcels.</i>
4.6.1.4	<i>The building is not in a wooded area, but landscaping along the front façade is proposed.</i>
4.6.1.5	<i>The proposed building is compatible in material, scale, and mass. The front facing façade is generally very simple in its form and the saltbox roofline is found throughout the Reserve.</i>
4.6.1.6	<i>Proposed buildings are not prefabricated. The surrounding area consists of single-family residences and the intensity of the proposed development vs. the existing house is not changed.</i>
4.6.1.7	<i>The proposed siding material is wood. The proposed roof is non-reflective metal.</i> <i>For non-historic buildings within the Reserve, Staff has found that metal roofs are an appropriate and often cost-effective roofing type. So long as the roof is non-reflective, the roof is appropriate.</i>
4.6.1.8	<i>Minimal pavement for the houses entrance is proposed. A proposed garden is expected in the front yard and serves as screening to the front façade.</i>

CHAPTER 4.11 – PARKING AND DRIVEWAYS

Guiding Principles: Parking should be designed to reduce visual and other impacts and to be as unobtrusive as possible. Driveways should be designed and located to be as unobtrusive as possible and to enhance pedestrian safety.

4.11.1 - Residential

Guideline	Staff Analysis
4.11.1.1 – 4.11.1.9	<i>The proposed residence includes a driveway off of NW Madrona Way. The proposed garage entrance is separated from the street with existing vegetation and proposed landscaping.</i>

CHAPTER 4.6.4 – New Residential Construction

Guiding Principle: Much of the Town of Coupeville has a relatively dense development pattern and some areas contain a significant number of historic buildings. New construction, particularly in Review Area 1, should continue the historical pattern of development with buildings that are compatible with their neighbors in terms of scale, massing, materials, and color.

Guideline	Staff Analysis
4.6.4.1	N/A

4.6.4.2	<p>The proposal generally reflects the architectural characteristics of the surrounding buildings.</p> <p>The building footprint is similar to surrounding buildings. The average footprint is 2,318 sq. ft. vs. the footprint of the proposed building of 1,994 sq. ft. The scale of the building is similar. Upper stories are common within the surrounding buildings. The proposed roofline is similar. The proposed roofline conforms typically with saltbox roofs. Front façade is approximately 74 ft. long (including patio overhang).</p> <p>The proposed exterior materials are consistent within the Reserve and the proposed PV solar panels do not impact the Reserve or surrounding historic resources.</p> <p>The front facing façade has a wall-to-window ratio of approximately 7%, which is similar to surrounding buildings. (ex. The Dr. White House – 605 NW Madrona Way has a wall-to-window ratio of approximately 9% on the street facing ROW)</p> <p>The proposal includes a recessed porch and garage door. While the Design guidelines typically encourage side-facing or otherwise minimally visible from the ROW, that was not possible given site constraints. A recessed garage door with materials to match the siding is inconspicuous and does not draw attention away from the rest of the building.</p>
4.6.4.3	The proposed building is generally compatible with the mass, scale, materials and style of surrounding residential structures within the Reserve
4.6.4.4	N/A
4.6.4.5	There are several existing accessory structures that are proposed to be removed due to their condition. The project is expected to retain the existing boat house in the SW corner of the property
4.6.4.6	The primary roof line is a gable saltbox style and is generally consistent with roofs found within the Reserve. No flat roofs are proposed.
4.6.4.7 – 4.6.4.8	The proposed front porch is recessed into the bulk of the building. The front façade is generally a solid horizontal plane except for the entry way. The front door is oriented to the street.
4.6.4.9 – 4.6.4.10	The proposed building has a footprint of 1,994 sq. ft. The average building footprint size within 200 ft. is 2,318 sq. ft. The proposed footprint is approximately 14% smaller than the average.
4.6.4.11	The front facing façade is approximately 74 ft. in length (generally west to east), including the portion of the roof that overhangs the patio. The front façade is generally a single horizontal plane except for the recessed entry way/porch.
4.6.4.12	The windows are proposed to be aluminum / wood clad. The windows are generally aligned with each other and evenly spaced. The wall-to-window ratio is consistent with surrounding historic buildings.

4.6.4.13	The proposed windows are aluminum / wood clad.
4.6.4.14	The proposed windows are not single or double hung. The windows do not have mullions. The kitchen and upper story windows are divided horizontally by mullions.
4.6.4.15	The garage door is located on the front facing façade. Due to site constraints, this was the only reasonable location for the garage and the doors are recessed and match the siding to be inconspicuous. The proposed driveway is partially screened by existing vegetation.
4.6.4.16	N/A – only one residence is being considered.

VII. RECOMMENDED MOTION

Based on the record developed to date, including application materials, staff report, evidence presented, and comments made at the public meeting, and finding application to COA-22-071 to be consistent with the Ebey’s Landing National Historic Reserve Design Guidelines, I move to recommend granting a Certificate of Appropriateness.

VIII. FINDINGS OF FACT AND CONCLUSIONS OF LAW

Based on the analysis presented above, staff proposes the following findings of fact with respect to Application No. COA-22-031

1. An application was submitted for a Certificate of Appropriateness on June 12, 2023 for the construction of a new single-family residence.
2. The site is within Review Area 1 of Ebey’s Landing National Historical Reserve and is classified as new construction within Review Area 1 requiring action on a Certificate of Appropriateness by the Historic Preservation Commission.
3. On September 19, 2023, the Ebey’s Reserve Committee reviewed the application and found it to be consistent with the applicable Ebey’s Landing National Historical Reserve Design Guidelines.
4. In accordance with Chapter 16.13 of the Coupeville Town Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on September 28, 2023 and all wishing to be heard were heard.
5. In accordance with Guidelines in Chapter 4.6.1 the buildings are compatible in scale, massing, size, materials, and color.
6. In accordance with guidelines in Chapter 4.6.5 the proposed buildings are sensitive to the surrounding buildings and incorporate common elements found elsewhere in the Reserve.
7. After review of the proposed application and consideration of public comment and staff’s recommendation, the Historic Preservation Commission finds the application consistent with the applicable Ebey’s Landing National Historical Reserve Design Guidelines.

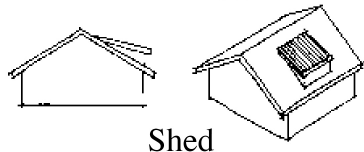
IX. APPEAL PROCESS

A decision to approve, conditionally approve, or deny a Certificate of Appropriateness may be appealed as an administrative determination, together with the associated permit, in conformance with the appeal procedures set forth in Coupeville Town Code Chapter 2.52 and Sections 16.06.060 and 16.13.080.

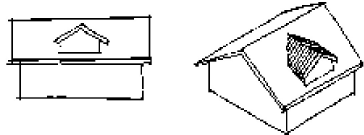
Appendix B
Ebey's Landing National Historical
Reserve
Design Guidelines

proportion to the overall building and the original windows. If possible, place new dormers at the rear of the house and as much out of view from the public right-of-way as possible.

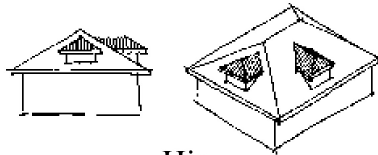
Dormer Types



Shed



Gabled



Hip

11. Do not add contemporary features such as sliding glass doors on facades that are visible from the street.
12. Locate decks where they are not visible from the public right-of-way. Design them to be simple in style and compatible with the size and materials of the house. In order to avoid damage to the historic fabric of the building, it is preferable to construct them so that they are self supporting and are not directly connected to the house (though they may touch the building).

CHAPTER 4.4 – LAND DIVISION

The pattern for new construction is set in the initial division of the land—the creation of plats and short plats.

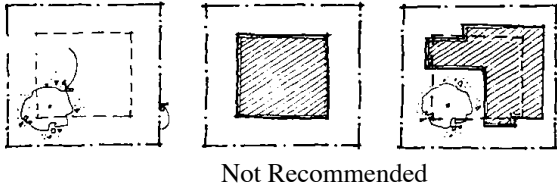
Guiding Principles: *Consider the long-term impacts that lot arrangements have on the Reserve's rural character.*

New development proposed adjacent to scenic roads and landscapes should be designed to preserve distinctive features of those areas— including tree canopy, winding road character, open fields, and scenic and historic views— and to limit the visibility of new development. New development adjacent to, or within, scenic open vistas shall be clustered and designed to avoid adverse impact to scenic and historic resources.

Design Guidelines

1. Divide property so that the home sites will protect historic land uses and preserve prime agricultural soils.
2. Follow existing implied land divisions such as tree lines, hedgerows, and roadways, when possible and practical. Driveways and roads should preserve existing native vegetation, coincide with natural contours, respect historical patterns of development, and maintain a rural character in their width and materials.
3. In designing subdivisions and locating boundaries of open areas, arrange the proposed lots and designate building envelopes so new construction is located most inconspicuously with regard to open land. For example, confine a useable building site on an open lot to an edge, such as a wooded area or a road. Designating “building envelopes” is encouraged to confine new construction to one portion of a lot, leaving as much of the remaining land

as possible open and uninterrupted by development.



Site Development to Save Tree

4. When a building envelope has been proposed, reviewed, and approved, subsequent review of the building envelope at the permit stage will not be required unless the project has changed significantly.
5. Maintain historical landscape patterns by clustering buildings together and siting along edges of fields and woodlands to preserve open space.
6. Maintain scenic views and views of historic buildings from public rights-of-way.
7. Maintain vegetative buffers to preserve wildlife corridors and to screen and buffer new development.
8. Plan to install electrical, telephone, cable, and miscellaneous utility lines underground when feasible.

CHAPTER 4.5 - SITE DEVELOPMENT

The Reserve has distinctly different Landscape Character Areas with varied settings. What is appropriate in one area, or for one type of building, may not be appropriate for another. Therefore, Guidelines for new construction and other site development activities are divided into subsections. It is important that all aspects of site development and permitting be

coordinated. Please be advised that it may be necessary to apply more than one subsection of the Guidelines to any specific project (e.g., a new multifamily housing project may also be in close proximity to a historic building).

Guiding Principles: *Maintaining a sense of the Reserve's history requires that new buildings relate harmoniously with older buildings and with the overall setting. New construction in the Reserve should be compatible in siting, design, scale, massing materials, and color with the character of the surrounding area.*

While well and drain field locations obviously depend on site conditions, they should be sited with regard to the landscape and historic character as well as technical considerations.

4.5.1 - Pre-Construction: Permit Coordination and Site Planning

Guiding Principles: *Careful initial planning of a building site is vital to preserving the Reserve's natural and historic character (particularly the sense of open space) while meeting the property owner's needs. Consider the setting of the lot and its surroundings when making siting decisions. Collectively, landforms and features (hills, valleys, streams, wooded hilltops and ridgelines, and open fields) help define the context of historic resources and provide the Reserve's character.*

New development should be designed to be consistent with the character of the area and to retain the distinctive features of the setting. Elements of an area's character—such as building mass, height, scale, roof shape, roof pitch, building materials, and

proportions between doors and windows— should be maintained.

Distinctive features of an area— such as proximity to the street, views to historic structures, water and/or landscapes, and significant open spaces— shall be preserved.

A pre-application conference with staff is strongly encouraged to assist in the coordinated identification of building locations before obtaining well, drain field, or access permits (if needed).

Design Guidelines—Town setting

1. Much of the rural small town character comes from its informal streetscapes, with “soft” undefined road edges, grass-lined swales instead of gutters, and pathways rather than sidewalks.
2. Small towns like Coupeville are known for their sociability and livability. Town streets are particularly suited to foot traffic and, by and large, were not designed for heavy automobile traffic.
3. Develop the site plan in response to specific site characteristics, including natural features and location within the community.
4. Plan the site layout to respect historic patterns. Plan to orient buildings in a manner similar to that found historically.
5. The alignment of buildings along a street establishes a visual pattern or rhythm, a rhythm that is an important feature of the town. New development or redevelopment should be designed in the same scale and proportion as this predominant pattern, with particular

attention paid to setbacks and building orientation.

6. As in the rural setting, plan new roads and driveways in the woods or close to existing edges (e.g., woods, existing tree lines, fencelines). In general, try to route new roads or driveways to follow the natural contours of the land, unless this would disrupt the landscape more than an alternative route. Avoid extensive cutting, filling, and re-grading of contours.
7. New roads and rights-of-way should not be oversized. Wider roads tend to encourage higher rates of speed and excessive paving wastes resources (e.g., wider roads require more clearing and grading resulting in higher development costs, increase storm drainage requirements, and require greater expenditures for maintenance over the long-term).

Design Guidelines—Residential neighborhoods

1. New roads should reflect the prevailing residential street standard in the Town. Open ditches that provide biofiltration and possible infiltration of surface water are required, except in commercially developed areas.
2. Use informal street bulb outs for visitor parking to narrow street widths. When possible, use alleys or smaller roads as an alternative rear access for garages in residential neighborhoods, especially to avoid repetitious driveway entrances to a main street.

CHAPTER 4.6 - NEW CONSTRUCTION

Guiding Principles: *New development should respect the Reserve's rural character. A successful new building will have compatible scale, massing, size, materials, and color that allow it to blend in to its site.*

Redevelopment of existing strip developments shall provide buffers between parking areas and the street, improvements to interior parking lot landscaping, as well as facade improvements and frontage buildings, as necessary, to improve the visual character of the site.

4.6.1 - Architectural Character

Design Guidelines

1. The mass of larger buildings should be broken up into separate parts to give the appearance of a group of buildings rather than one large building. Use trees and other vegetation to soften their appearance. Design buildings to be generally horizontal in form in order to be less conspicuous.
2. New buildings should be similar in general character but they should also have subtle differences in design to distinguish them from historic structures. Contemporary designs which reflect the scale, materials, and color of surrounding development are appropriate. False historic structures are not appropriate. New buildings should be stylistically distinct from historic structures.
3. Building materials should be similar to materials of the surrounding neighborhood or use other characteristics such as scale, form, architectural detailing, etc. to establish compatibility.
4. Buildings in wooded areas that are substantially and permanently screened from the road by trees may have greater flexibility in massing, scale, and materials.
5. Buildings should be designed to be compatible with their surroundings in material, scale, mass, size and form. Those that seek to stand out from the surroundings are discouraged. Use simplified interpretations of architectural features that are common to historic buildings in the Reserve. Buildings or structures that are inconsistent with form or shape throughout the Reserve are not permitted in Review Area 1.
6. New buildings shall acknowledge and reinforce the characteristics of the existing development pattern within the neighborhood or setting. Modular, prefabricated, and manufactured buildings may be placed in the Reserve if they conform to the Guidelines. It is recommended that a purchaser check the Guidelines and the available options before purchasing the building or materials.
7. Wood is preferred as the primary exterior material, but fiber cement products may also be used. Metal in dark, non-reflective colors may be used in small amounts. Minimize the exterior use of bare concrete, aluminum or vinyl siding, stucco, or synthetic materials.

Concrete blocks may be used only as a foundation material. Stone may be used in small amounts if it has a historically appropriate appearance.

8. Front and side yards should be largely dedicated to landscaping. Expanses of concrete and parking areas toward the front of the site are not allowed.

4.6.2 - New Construction in the Town of Coupeville's Historic Limited Commercial Zone

Guiding Principles: *The historic commercial core of the Town has a strong sense of place and of historical authenticity. To maintain this character, new buildings should be compatible with, but differentiated from, the historic buildings.*

Compatible infill design responds to its surroundings. It is not possible to develop specific guidelines that will apply to all cases. Every site has its own design challenges and opportunities. There are, however, several general concepts that govern the visual relationship between an infill building and its neighbors.

Design Guidelines

The design of a new infill building, particularly its front facade, is a special challenge. It should be designed to be compatible with surrounding buildings.

1. Height - Buildings in this commercial area share a similar height. Infill construction should respect this. A new facade that is too high or low can interrupt this consistent appearance and is not compatible.
2. Width - The width of a building should reflect the characteristic rhythm of the facades along the street. Design building facades with the three-part horizontal division (a clear base, a middle, and a top with detailing such as a cornice) and vertical elements typically found in Coupeville's older commercial structures.
3. Proportion - The proportion of the existing facades (the relationship between height and width) should be respected.
4. Relationship to street - The front facade should be consistent with that of its



Although the building above right is large, its roofline is similar in height and scale to adjacent structures.



This building is out of scale with adjacent structures, and is not compatible in this setting.

- b. Flat false muntins do not provide the appropriate profile or depth and have an artificial appearance; simple double-hung windows without muntins are a better choice.
 - c. If a double-hung window is not practical and an operable window is required, casement windows are acceptable as are hopper windows combined with fixed sashes of vertical proportions.
 - d. Sliding windows may only be used if egress requirements cannot be met with other acceptable window types. If slider windows are used, they must include horizontal mullions in their center to give the look of paired double-hung windows.
 - e. Most historic commercial structures used fixed windows (with transom windows) on the first level and double-hung windows on second floors. Similar window placements are encouraged on new construction.
13. Architectural detail - The use of limited amounts of architectural detailing such as decorative brackets, cornices, or eave trim should be used to make the building more compatible with its neighbors without replicating their designs. However, do not make the building overly ornate.
14. Coupeville has straightforward commercial buildings with simple forms and details, rather than ornate Victorian styles found in other towns. Emphasize primary entrances of commercial buildings with a recessed entry and transom windows. For residential

buildings, use a clearly defined entry with a porch or covered stoop.

4.6.3 - Special Site Conditions and Corner Lots

Design Guidelines

1. The siting of buildings should respond to specific site conditions and opportunities - such as unusually shaped lots, location at prominent intersections (corner lots), unusual topography, significant vegetation, and views or other natural features - but still be in keeping with historical patterns of development.
2. The location and massing of buildings should preserve public or private views of historic buildings from public right-of-ways.
3. Protect environmentally sensitive areas such as unstable steep slopes, shorelines, wetlands, and stream corridors.
4. Corner Lots:
 - a. Orient buildings to the corner and public street fronts. Parking and automobile access should be located away from corners.
 - b. Consider placing a distinctive building entrance at the building corner closest to the street intersection.

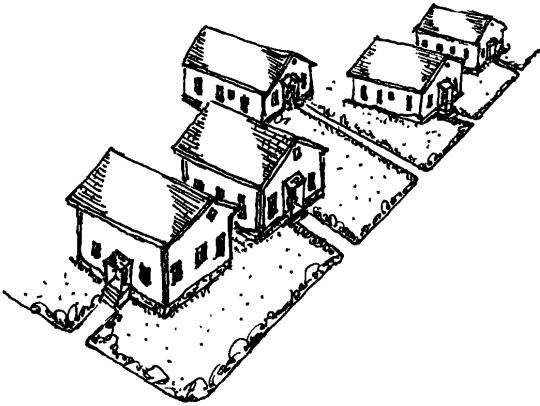
4.6.4 - New Residential Construction

Guiding Principles: *Much of the Town of Coupeville has a relatively dense development pattern and some areas*

contain a significant number of historic buildings. New construction, particularly in Review Area 1, should continue the historical pattern of development with buildings that are compatible with their neighbors in terms of scale, massing, materials, and color.

Design Guidelines

1. In Review Area 2, and for totally screened development in Review Area 1, greater flexibility in design and materials is permitted, as long as the building does not negatively impact the historic character of the Reserve. Use historic features as inspiration for infill design, not as a template.
2. New buildings should reflect the architectural character of surrounding buildings in the following ways:
 - a. Similar proportions, scale, and roofline;
 - b. Complementary architectural style and exterior finish materials;
 - c. Complementary patterns and proportions of windows;
 - d. Similar entry configuration and relationship to the street;
 - e. Complementary architectural details or features without imitating historic features.
3. Building shapes should be compatible to historic residential structures in the Reserve.
4. Vary design in groups of buildings. Denser developments are encouraged to include details that create a sense of human scale and break down the bulk of large buildings.
5. Smaller accessory structures are encouraged in order to reduce the mass of the primary building. These structures should be consistent with the proportion of the main building and site and should be compatible with the main building in design, materials, and color.
6. Use gable and hipped roofs as primary roof forms. Avoid massing and building shapes that are inconsistent with those found in the Reserve. Avoid flat roofs except on small additions.
7. Front porches should be used to emphasize the front entry. When there is no front porch or when a front porch is not a prominent feature of the new house design, the front door must be oriented facing the street.
8. Orient the main facade, and the primary entrance of a new building, facing the street. Enhance the primary entrance with stairs, a porch, stoop, or other design features appropriate to the architectural style of the building.



Although all of the new buildings have the appropriate form, the setback of the middle building from the sidewalk is much greater than the existing buildings and not compatible with the setting.

9. Reflect the mass, scale, and height of adjacent structures.



The one-story residence is not an appropriately sized or proportioned building for the streetscape. The form has a horizontal rather than vertical emphasis. The new building to the right is a similar size and has a similar form to the existing buildings.

10. Building footprints should be no larger than the average footprint size of all buildings located within 200 feet of the site or those that are on parcels contiguous to the common boundary and in the same zone and of similar lot size. Accessory structures (e.g., sheds and garages) may be excluded from this calculation).
11. To avoid overwhelming smaller neighboring buildings, divide a wide facade to look like smaller building masses.
12. Use similar window types and proportions as those found on nearby

buildings. To the extent possible, multiple windows on a single wall plane should be spaced and aligned with other windows and doors on the same wall plane. Single grouped windows on a wall plane should relate to other architectural features such as roof forms, doors, or facade projections. The ratio of window-to-wall shall be similar to that on historic residences' primary facades.



Although the size, scale, form and mass of the two new buildings are consistent with the neighboring buildings, the new building to the right has enlarged window openings inconsistent with the buildings found on the streetscape.

13. Wood windows are preferred on buildings.
14. Acceptable window patterns for single- or double-hung windows include one-over-one, two-over-two, or four-over-four lights. Multi-paned sashes over single-paned sashes are also appropriate. Artificial muntins may be used, provided they are the wider contoured grids as opposed to the narrow flat grids. Single-paned sashes without muntins (e.g., one-over-one light) are always appropriate and are preferred over the use of artificial grids, particularly if window sections are divided by mullions of two inches or more.



Street facing garage doors and oversized picture windows are typically not compatible in a neighborhood with historic residences. The scale of these large openings is inconsistent with the surrounding architecture.

15. Do not locate garages, parking lots, or carports in front of the building. Screen surface parking lots with appropriate vegetation. Provide parking at the rear of the lot, when feasible, and screen parking from adjacent properties.
16. Vary design on units or groups of units. Varied details are encouraged to ensure that denser types of housing include details that create a sense of human scale and break down the bulk of larger buildings.

4.6.5 - New Multi-family Housing

Guiding Principles: *Multi-family housing should be designed to be sensitive to the character of the surrounding neighborhood and setting. Within the Town it should relate to the street and be integrated into the community, rather than standing apart from it.*

Multi-family housing is often designed with an internal orientation, leaving fences or blank walls facing the public road. To better integrate multi-family housing into the community, it should be designed to relate to the street and setting. Its design should reflect the site's natural topography and vegetation, and incorporate basic elements of Reserve architectural styles.

Design Guidelines

1. Design multi-family buildings so that they do not overwhelm nearby buildings in height or mass.
2. Provide a front yard or landscaped area along the street side of the structure. Follow existing patterns of development.
3. Develop the ground floor level of all projects to be at a pedestrian scale.
4. Orient new buildings parallel to lot lines in keeping with historical building orientations.
5. Each building should have a clearly defined primary entrance. For example, provide a recessed entry way on a commercial storefront with a multi-family use, or provide a porch on a residential type structure to define its entry.
6. Provide visual interest on all facades visible from streets, alleys, and walkways. Buildings should express a human scale, using materials and forms that are consistent with those found in Town.
7. Building design should be respectful of adjacent property and the privacy and outdoor activities of adjacent residents.
8. Organize the massing of a multi-family structure to resemble the mass and scale of a traditional single-family house. Small multi-family buildings (those with two to four units) should be designed to appear as large houses rather than row houses.
9. Cluster multi-family buildings so that open fields or ridgelines remain largely

2. Elsewhere in the Reserve, use post-and-wire fencing or wood fencing open enough to see through easily. Locate fences so that they do not block views across the landscape.
 3. Fencing made of synthetic materials must be in colors that make the fencing as unobtrusive as possible. Typically, dark colors are most acceptable. White PVC is not allowed in Area 1.
 4. Hedges and hedgerows are highly recommended "fencing" approaches.
 5. Do not use chain-link fencing in any location visible from the road, unless it is effectively covered with vines or other vegetation.
 6. Do not use concrete block walls for fences.
- Emphasize pedestrian entrances in order to minimize the garage entrances.
 3. Driveways should be as narrow as possible. Generally, double-width or multiple entrances are not appropriate.
 4. Coordinate the driveway design to meet the needs of the property while following the historic design precedents in the immediate area.
 5. Common driveways shall be established wherever possible, to reduce curb cuts.
 6. Residential driveways made of twin parallel tire tracks, rather than solid paving, should be maintained where possible. Such driveways should be used in new construction where appropriate.
 7. Construct new driveways in locations that require a minimum of alteration to site features such as landscaping, retaining walls, curbs, and sidewalks.
 8. Entry features such as driveways, gates, fences, and landscaping shall be compatible with the neighborhood setting.
 9. Gated subdivision entries shall not be permitted in the Reserve.

CHAPTER 4.11 - PARKING AND DRIVEWAYS

Guiding Principle: *Parking should be designed to reduce visual and other impacts and to be as unobtrusive as possible. Driveways should be designed and located to be as unobtrusive as possible and to enhance pedestrian safety.*

4.11.1 Residential

Design Guidelines

1. Off-street parking should not be established in front of a house, except in the approved driveway.
2. Minimize the impact of individual garage entrances where they face the street by limiting the curb cut width and visually separating the garage entrance from the street with landscaped areas.

4.11.2 Nonresidential

Design Guidelines

1. Place parking lots beside or behind buildings whenever possible, locating them to minimize the visual impacts of parking and to enhance the pedestrian environment and streetscape.
2. Parking areas must be screened, preferably with appropriate vegetation, so that the vehicles are not the dominant

Appendix C

Supplemental Application Materials

4.5.1 SITE PLANNING — Guiding Principles, p. 32

New development should... retain the distinctive features of the setting. Distinctive features of an area — such as... proximity to street, views to water and/or landscapes, and significant open spaces — shall be preserved.



DISTINCTIVE FEATURES

1. Madrona trees lining Madrona Way and the bluff beyond
2. The characteristic red boat shed
3. Open space creating public views across the property toward the water

4.5.2 LANDSCAPE ALTERATIONS, p. 35

Important Reserve-wide landscape features include:

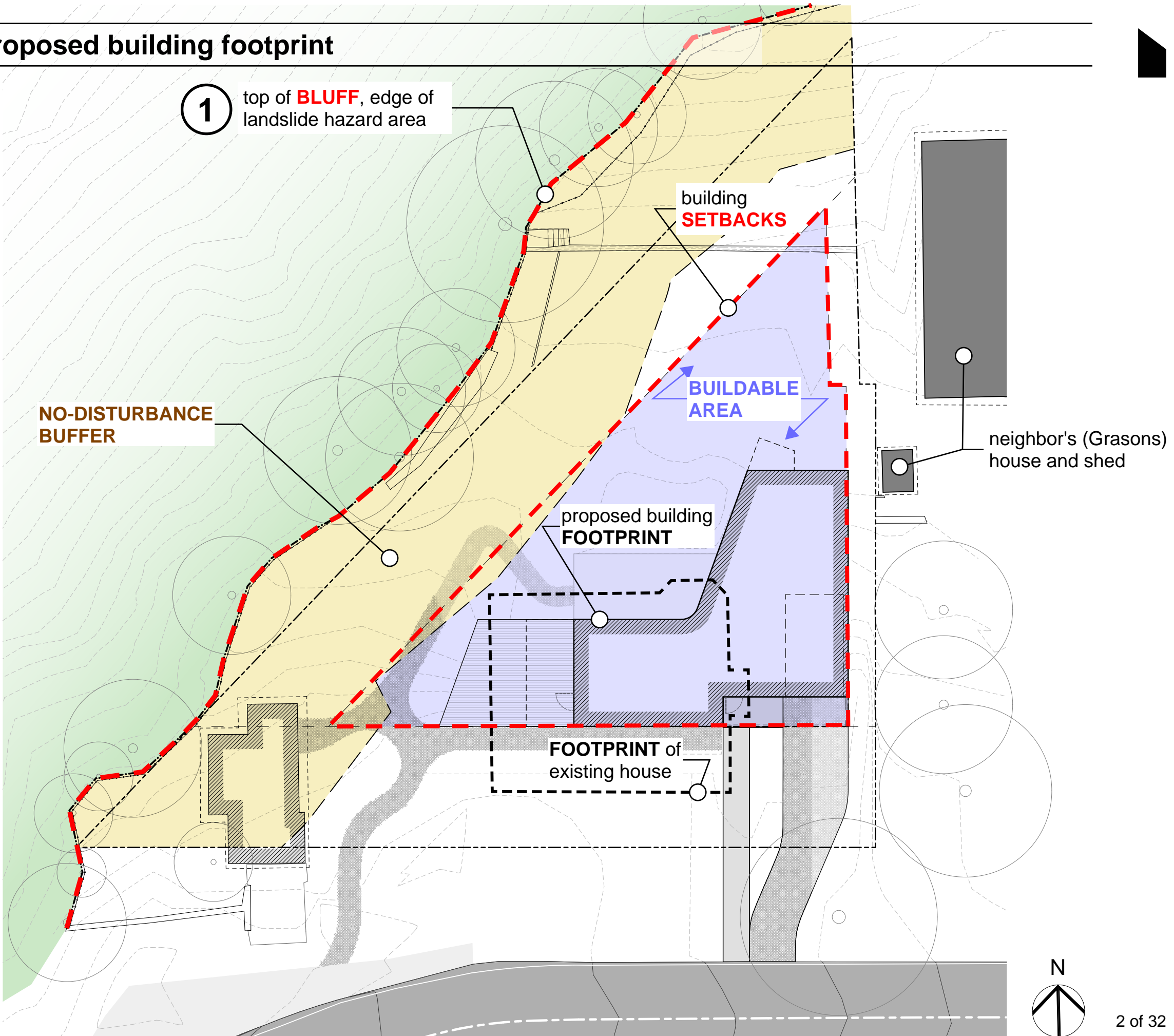
- Orchards
- Trees in scenic vistas and forested ridgelines
- Madrona trees along Madrona Way

SITE RESPONSE

Proposed building footprint

The proposed house's location is guided by analysis of its site-specific context:

- 1. Locating the footprint in the SE corner of the lot maximizes its distance from the steep bluff and its environmentally critical areas

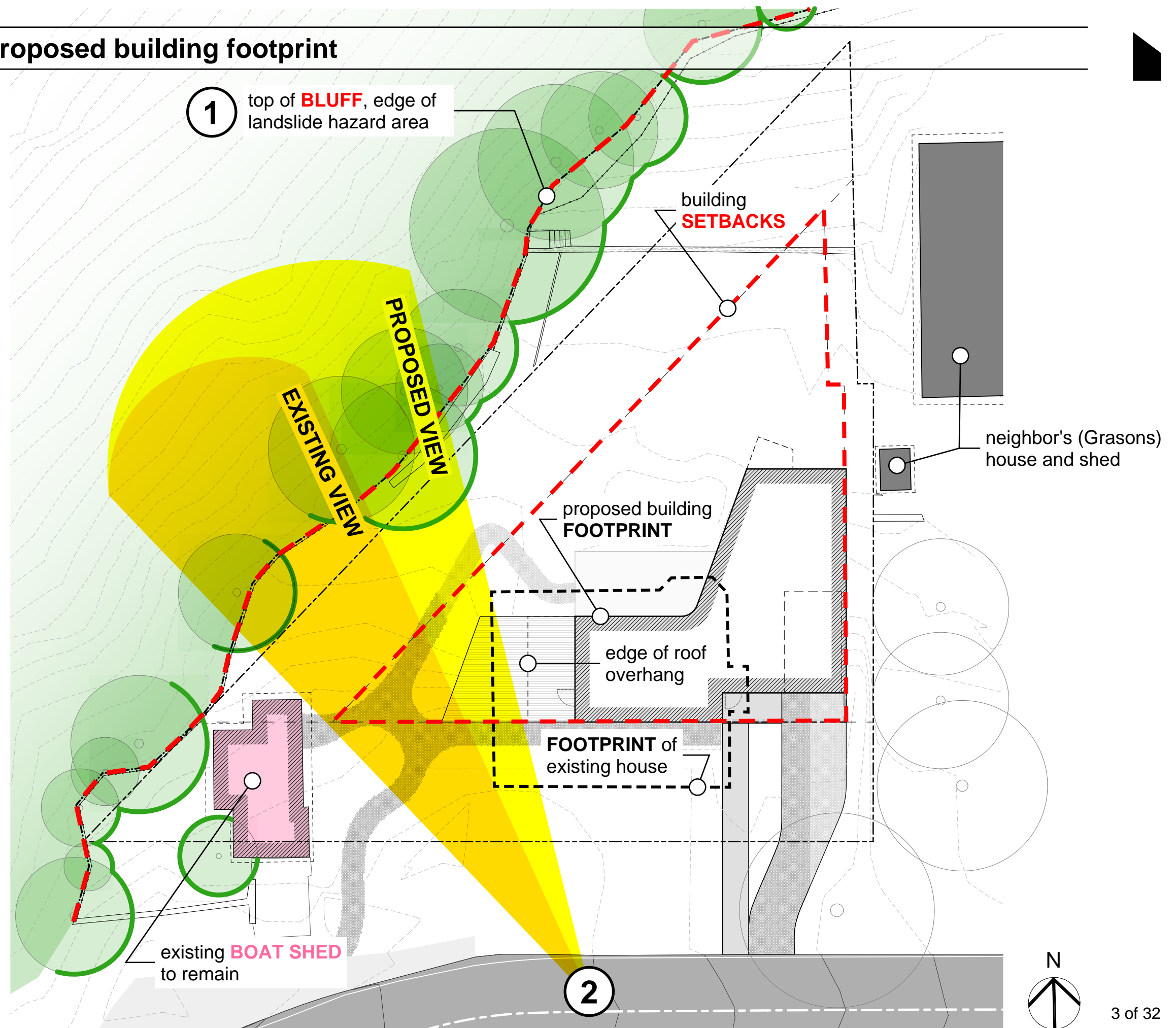


SITE RESPONSE

Proposed building footprint

The proposed house's location is guided by analysis of its site-specific context:

1. Locating the footprint in the SE corner of the lot maximizes its **distance from the steep bluff** and its environmentally critical areas
2. The new footprint **widens the existing public view corridor**, enhancing the scenic vista

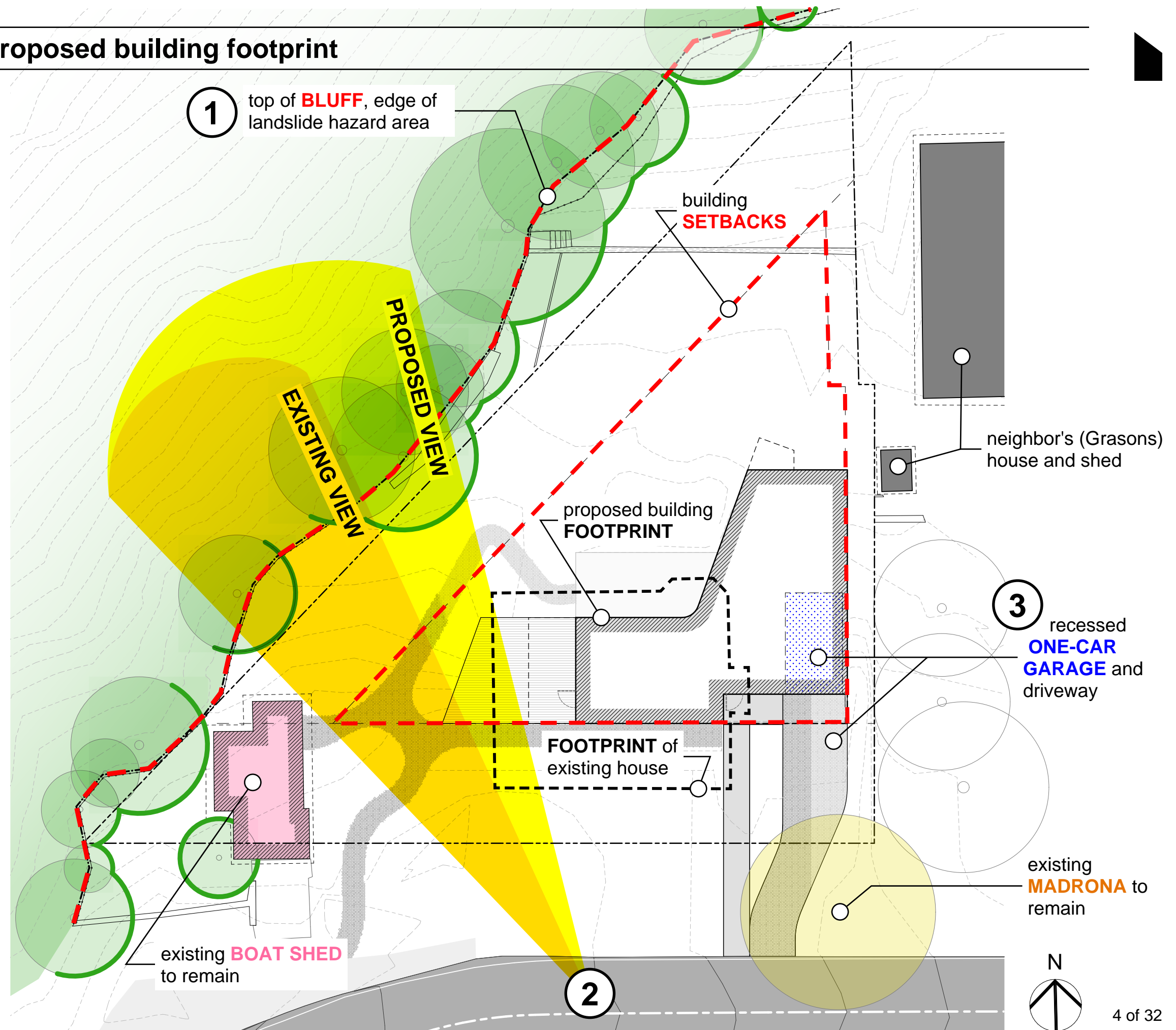


SITE RESPONSE

Proposed building footprint


The proposed house's location is guided by analysis of its site-specific context:

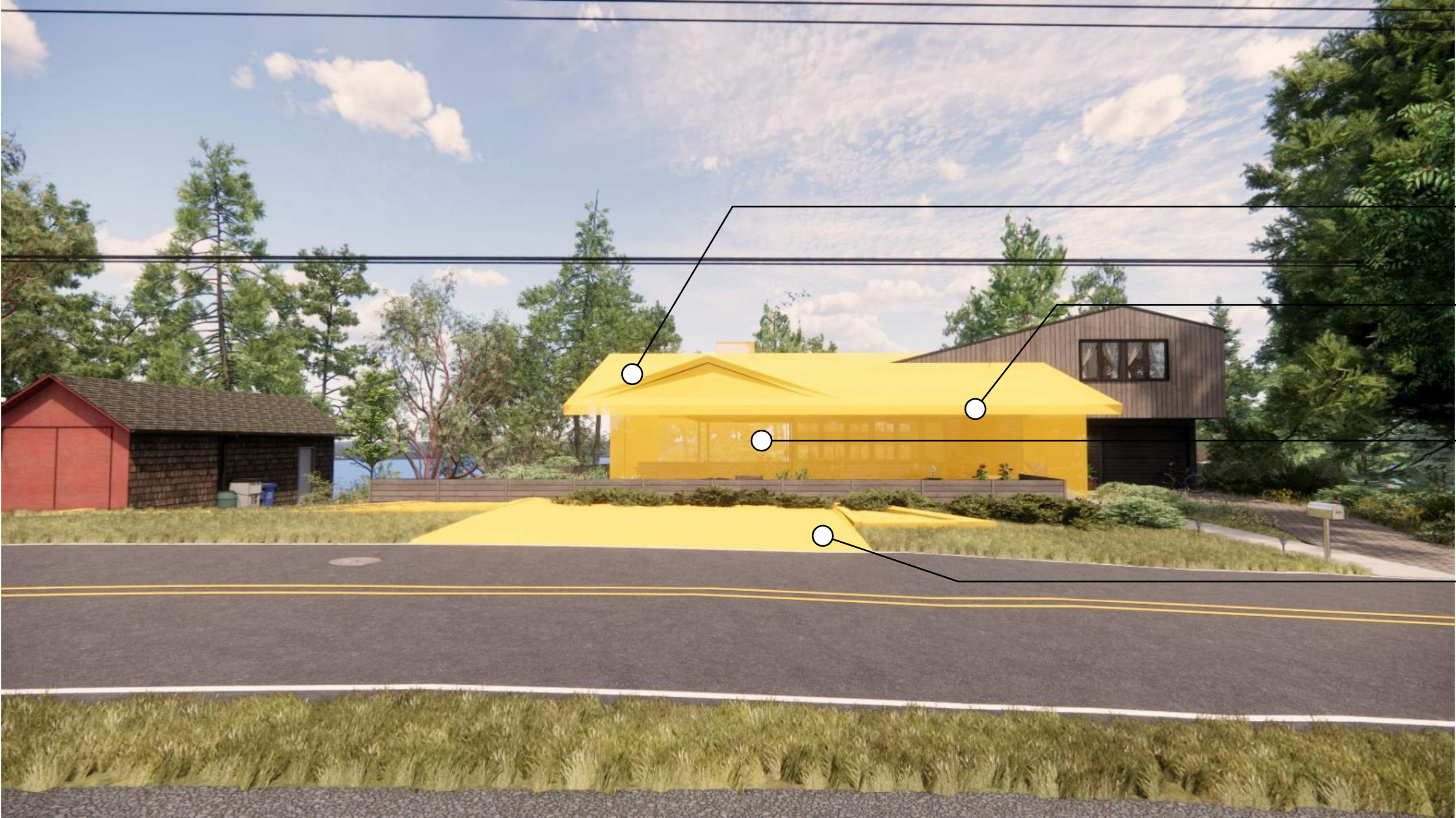
1. Locating the footprint in the SE corner of the lot maximizes its **distance from the steep bluff** and its environmentally critical areas
2. The new footprint **widens the existing public view corridor**, enhancing the scenic vista
3. The **one-car garage is recessed** into the facade and the garage door blends into the siding. The narrow driveway bends to **protect the existing madrona tree**, which also provides some visual screening.



4.11.1 PARKING AND DRIVEWAYS — Residential #2, p. 58

Minimize the impact of garage entrances where they face the street by limiting the curb cut width and visually separating the garage entrance with landscaped areas.

existing house 



Existing house is bulky and location blocks portions of scenic vista

Existing house is too close to street, leaving limited front yard and open space between house and street

Existing two-car garage is most prominent feature of house, highly visible from NW Madrona Way

Existing driveway is wide and highly prominent

View across NW Madrona Way

4.11.1 PARKING AND DRIVEWAYS — Residential #2, p. 58

Minimize the impact of garage entrances where they face the street by limiting the curb cut width and visually separating the garage entrance with landscaped areas.



House's position in SE corner of site creates more open space for views across the bluff

Roofline tapers down toward view, framing scenic vista

One-car garage is recessed and clad to match adjacent siding, minimizing its appearance from the street


Proposed driveway is narrow and its location makes it less visible from the street

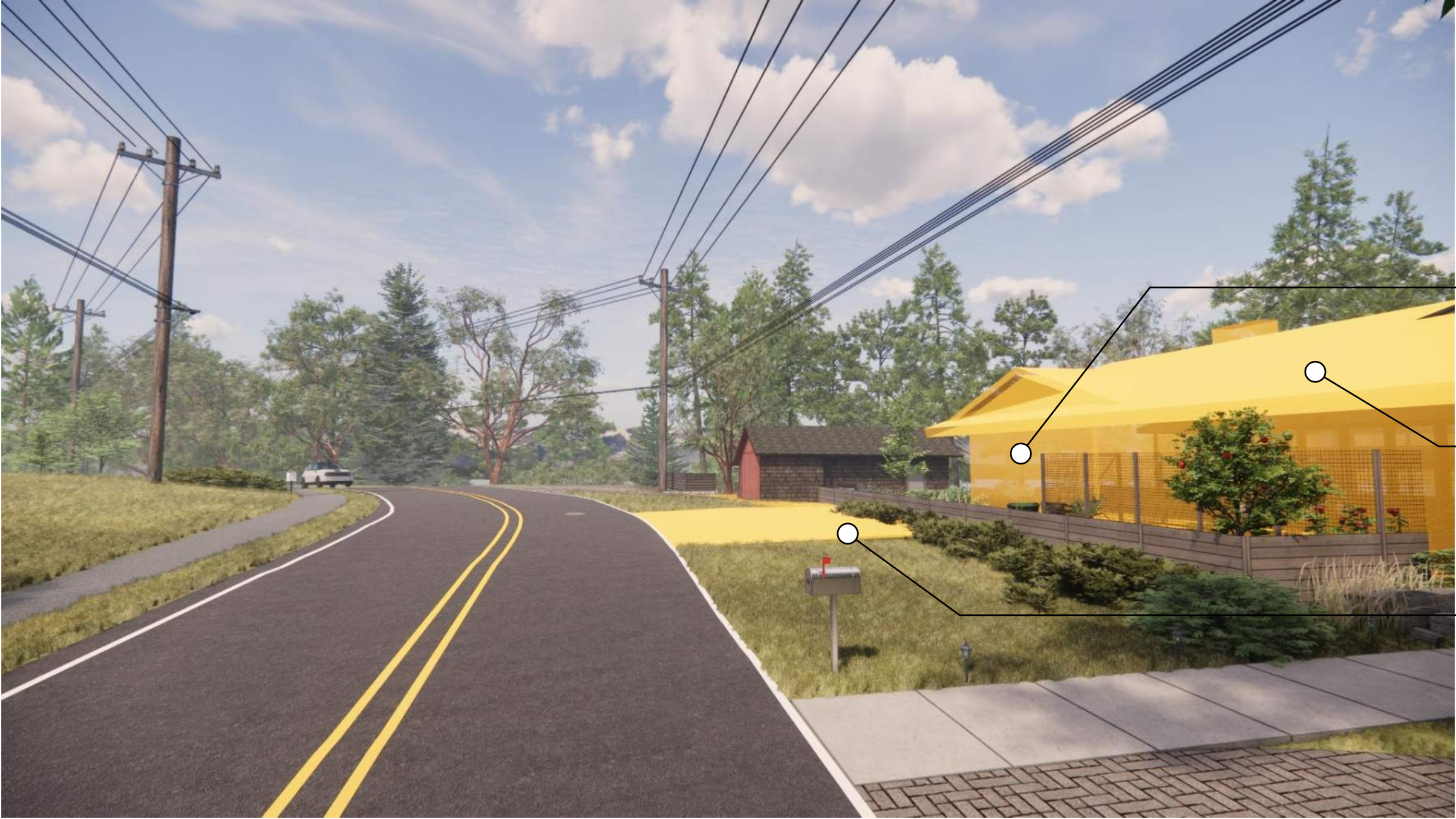
Larger front yard, landscaping, and orchard create vegetative screening between house and street

View across NW Madrona Way

4.5.1 DESIGN GUIDELINES — Residential Neighborhoods #5, p. 34

*Protect public views to and along the shoreline and scenic vistas as seen from public roads.
Maintain scenic vistas as seen from public roads.*

existing house 



Existing two-car garage is most visible feature of house, highly prominent when entering and leaving Coupeville

Existing house is within front yard setback, blocking views of the scenic vista

Existing driveway is wide and highly prominent

View driving west on NW Madrona Way

4.5.1 DESIGN GUIDELINES — Residential Neighborhoods #5, p. 34

Protect public views to and along the shoreline and scenic vistas as seen from public roads. Maintain scenic vistas as seen from public roads.



Proposed roofline tapers down toward the view, minimizing bulk and framing views across the bluff

Proposed house is set back the appropriate distance from the front property line (25'), creating more open space between the house and street

Larger front yard and plantings create more screening between house and street

Front entry is most prominent means of site access

Driveway is narrow and more discreet, softened by unit pavers and plantings

View driving west on NW Madrona Way



Outline of approved addition to Dr. White house

**FULL LENGTH OF FACADE
VISIBLE FROM MADRONA WAY**

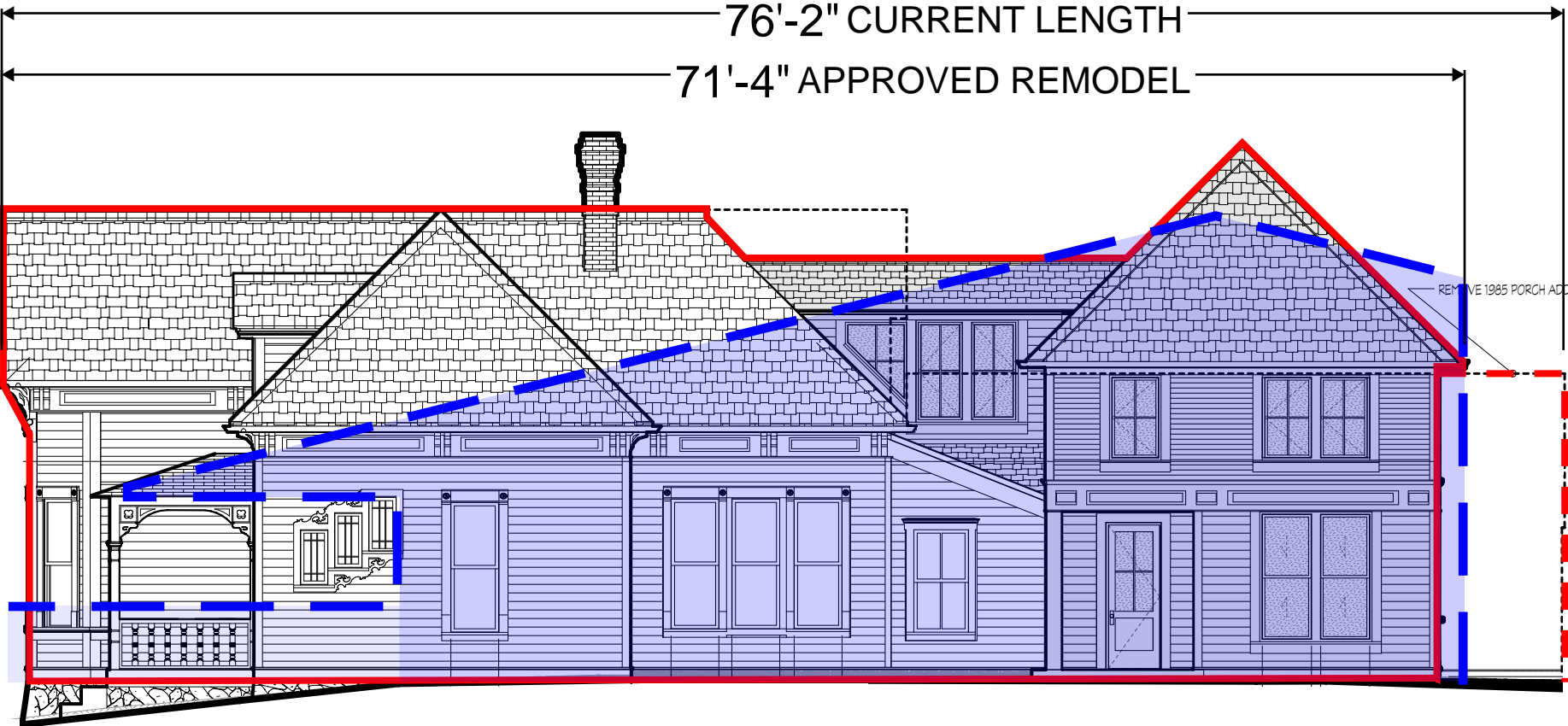
View entering Coupeville from NW Madrona Way



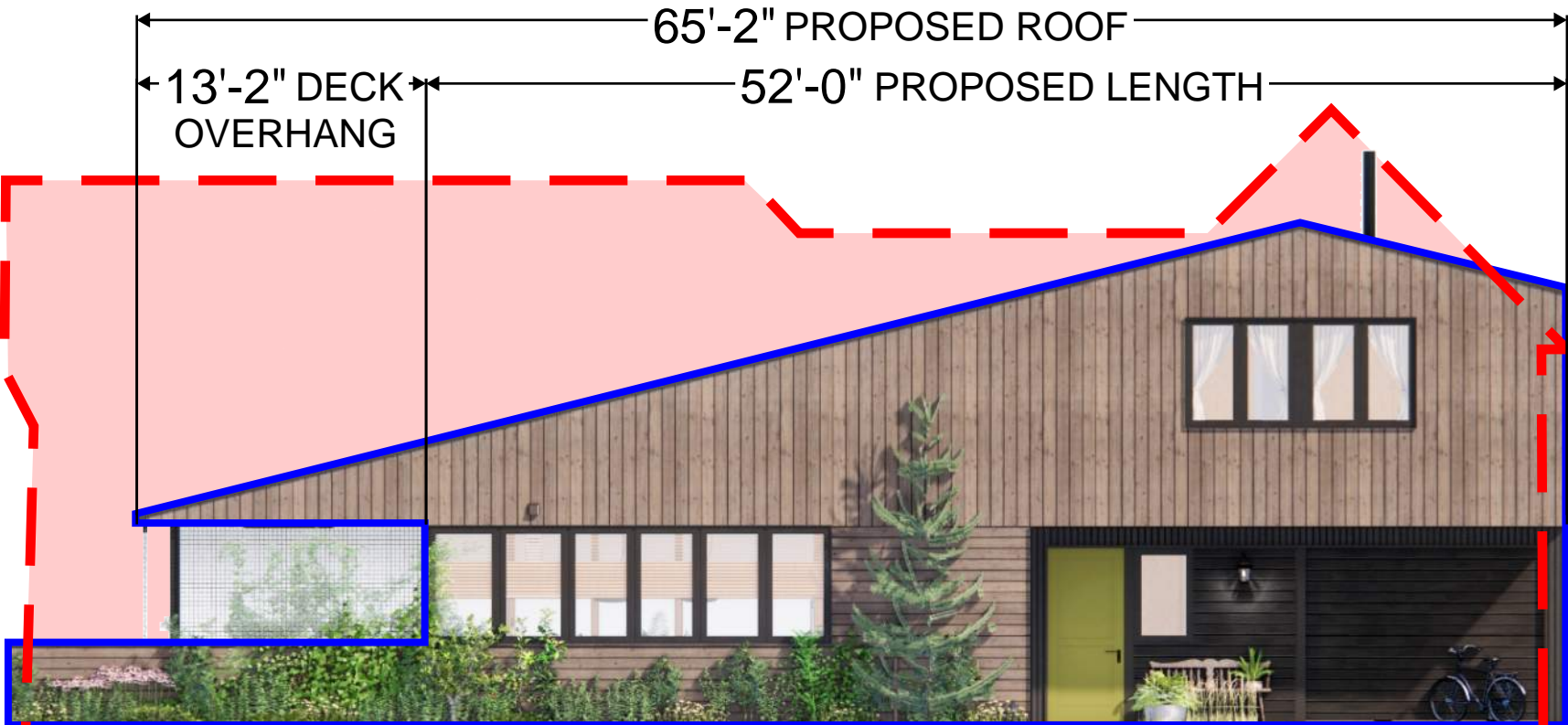
Approved addition to Dr. White house

FULL LENGTH OF FACADE
VISIBLE FROM MADRONA WAY

View entering Coupeville from NW Madrona Way



1,532 sf APPROVED FACADE AREA
DR. WHITE HOUSE



The proposed design has only **70% the facade area** of the Dr. White House. The proposed massing is less bulky as viewed from NW Madrona Way.

1,074 sf PROPOSED FACADE AREA

QUICK GUIDE — New Construction, p. iv

Rather than imitating older buildings, a new design should relate to the fundamental characteristics of the Reserve while also conveying the stylistic trends of today. The design guidelines encourage new buildings that can be distinguished as being of their own time.



Windows symmetrical and centered on roof gable. Window proportions updated to better match site context

Garage door updated to match siding and to blend into facade as much as possible

Planting area added between pedestrian entry and driveway to create additional landscape screening in front of garage

Driveway and pedestrian entries separated to add emphasis to front porch

Wide entry path and bright front door make pedestrian entrance highly visible

Curb cut is 9' wide (minimum allowed)

Street-facing facade

OLD ELEVATION

DESIGN CONTEXT



Window was desired to provide daylight and ventilation to shower

Kids' shared bathroom; high windows were desired for protect children's privacy

Tall sidelight next to front door was intended to emphasize entry

Narrow windows are between upper and lower kitchen cabinets. Taller windows require sacrifice of storage space

Southwest corner receives direct headlight glare from Madrona Way. Selective window placement previously aimed to mitigate intrusion of blinding headlights into kitchen and dining room

FROM 9/28/23 HPC HEARING

Street-facing facade

4.6.4 NEW RESIDENTIAL CONSTRUCTION — Design Guideline #12, p. 44

To the extent possible, multiple windows on a single wall plane should be spaced and aligned with other windows and doors on the same wall plane. Single grouped windows should relate to other architectural features such as roof forms, doors, or projections. The ratio of window to wall shall be similar to that on historic residences' primary facades.



Kids' shared bathroom (left) and bedroom (right) windows are aligned and privacy is modulated by interior furnishings

Windows are evenly spaced and symmetrically centered on the roof gable, a common feature of saltbox houses.

Window proportions are updated to better conform with context

Shower window is removed to preserve facade symmetry about the roof gable

Sidelite window is updated with more conventional proportions. Window lintel is aligned with the top of the front door

Kitchen windows are enlarged for better proportional conformance with context. Windows are evenly spaced and aligned with other architectural features, such as overhangs and guardrails

Street-facing facade

OLD ELEVATION

DESIGN CONTEXT



FROM 9/28/23 HPC HEARING

Shared access intends to universally accommodate all means of transportation: pedestrian, stroller, bike, car, etc.

Pedestrian entry and driveway share a single path made of unit pavers in order to minimize the visual impact of the garage entrance

Shared site entrance minimizes ambiguity about primary access

12' curb cut facilitates easy navigation around parked cars or other transportation equipment

Street-facing facade

4.11.1 PARKING AND DRIVEWAYS — Residential Design Guidelines #2-3, p. 58

[2] Minimize the impact of garage entrances where they face the street by limiting curb cut width and visually separating the garage entrance from the street with landscaped areas. Emphasize pedestrian entrances in order to minimize the garage entrances. [3] Driveways should be as narrow as possible.

4.5.1 SITE DEVELOPMENT — Design Guideline #6, p. 33

Plan new driveways in the woods or close to existing edges (e.g. woods, existing tree lines).



Entry path is straightened to create clear visual axis between front entry and street

Plantings create further separation between entry path and driveway

Driveway curves to protect the existing madrona tree, which visually separates the garage from the street

Pedestrian entry path and driveway are separated to give emphasis to front entry and front porch

Contrasted paving materials draw the eye toward the brighter concrete entry path

Driveway curb cut width is reduced to 9' (minimum allowed) to minimize appearance of driveway

Street-facing facade

OLD ELEVATION

DESIGN CONTEXT



Bright red front door attracts the eye to the primary entrance and complements the existing red boat shed

Porch light, bench, and address numbers accentuate the primary entrance

Recessed front porch breaks up the facade's mass and provides shelter outside the primary entrance

Flush threshold between front porch and garage entry provides accessibility to people with mobility difficulties and supports aging-in-place

FROM 9/28/23 HPC HEARING

Street-facing facade

4.6.4 NEW RESIDENTIAL CONSTRUCTION — Design Guidelines #7-8, p. 43

[7] Front porches should be used to emphasize the front entry. When there is no front porch or a front porch is not a prominent feature of the new house, the front door must face the street. **[8]** Orient the primary entrance facing the street. Enhance the primary entrance with design features appropriate to the architectural style of the building.

QUICK GUIDE — Porches, p. v

For new homes, porches on the front facade of a home are preferred.



Brightly painted front door increases visibility and emphasizes front entrance. Front door is facing street for added visibility

Bench and porch light help visitors locate the front porch and primary entry

Recessed porch provides shelter

Landscaping is added to make front porch feel more protected from street

Street-facing facade

OLD ELEVATION



DESIGN CONTEXT

Minimal separation between front porch and garage entrance provides greater flexibility for moving bikes, strollers, etc. between both spaces

Garage door is painted to match siding, which minimizes its visibility from the street. Dark colors reduce the emphasis on the garage entrance

FROM 9/28/23 HPC HEARING

Street-facing facade

4.6.4 NEW RESIDENTIAL CONSTRUCTION — Design Guideline #15, p. 45

Do not locate garages, parking lots, or carports in front of the building.

4.7.3 PAINTING AND COLORS — Design Guideline #13, p. 52

In most cases, darker earth tones found in the surrounding landscape are called for to help make new construction... recede rather than stand out.

9/28/23 STAFF REPORT:

"The proposal includes a recessed porch and garage door. While the Design guidelines typically encourage side-facing or otherwise minimally visible from the ROW, that was not possible given site constraints. A recessed garage door with materials to match the siding is inconspicuous and does not draw attention away from the rest of the building."



Garage door is clad to match adjacent siding, masking its visual presence as much as possible with dark tones

Garage door is recessed from the primary facade to minimize its appearance from the street

Garage and garage door are one-car width, minimizing their appearance from the street

Garage entrance is located as far east on the site as possible, maximizing its concealment when approaching Coupeville on NW Madrona Way

Garage entry is intended to serve all forms of access, including bikes and strollers

Street-facing facade

APPENDIX

This project is **not within 100'** of a **Contributing Structure**.

4.6.1 ARCHITECTURAL CHARACTER — Design Guideline #2, p. 39

Contemporary designs which reflect the scale, materials, and color of surrounding development are appropriate. False historic structures are not appropriate. New buildings should be stylistically distinct from historic structures.



1 Dean house



2 Dr. White house



3 Black house



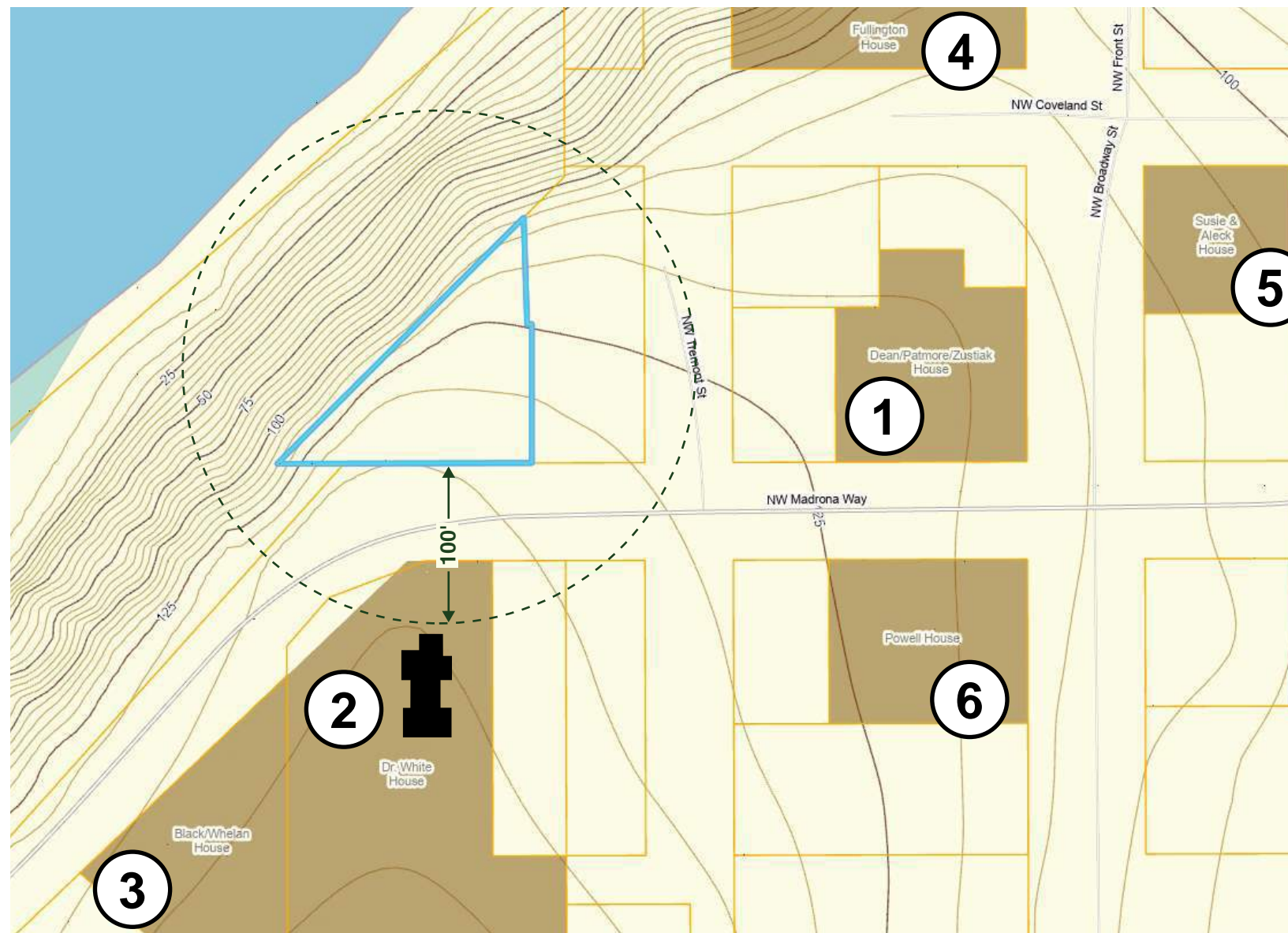
4 Fullington house



5 Susie & Aleck house



6 Powell house



Legend

- Ebey's Historic Properties
- Project Site

Image source: Island County GIS

4.6.1 Design Guideline #3

Building materials should be similar to materials of the surrounding neighborhood or use other characteristics such as architectural detailing to establish compatibility.



The proposed wood cladding and siding transitions are compatible with the materials of contributing structures within the Reserve, such as the Captain James Henry Swift House.

Vertical wood siding over horizontal wood siding;
siding transition above first story

Captain James Henry Swift House, 1852

4.6.1 Design Guideline #2

Contemporary designs which reflect the materials and color of surrounding development are appropriate.



The transition of siding materials between stories is compatible with other contributing structures within the Reserve, such as Smith Cottage.

Siding change above first story, unfinished wood

Smith Cottage, 1933

4.6.4 Design Guideline #2e

New buildings should reflect the architectural character of surrounding buildings in the following ways: complementary architectural details or features without imitating historic features.



The proposed design features two rows of ribbon window units of equal widths, as seen on the Flora A.P. Engle house. Divided lites are omitted in favor of modern window units with a high insulation value and in order to avoid false historicism.

Ribbon of evenly-spaced equal-width windows

Group of windows extends to the corner of the facade

Flora A.P. Engle house, 1914

"The saltbox is a two-story post and beam house where the rear **roofline extends** over a one-story range of rooms, typically the **kitchen and pantry**.

"An unbroken [roof] slope suggests that the **lean-to section was integrated from the start**. A broken roofline is seen when the [roof] slope changes to accommodate a later extension."

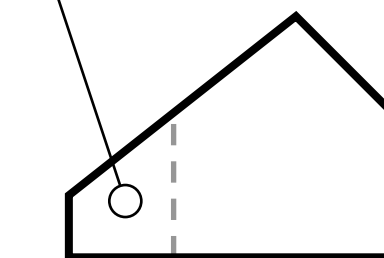
Poore, Patricia. (2010, Spring). Saltbox and Catslide Houses. *Early Houses*, 10-11.



**ARCHITECTURAL STYLES IN THE RESERVE —
Saltbox (1850-1880), p. 83**

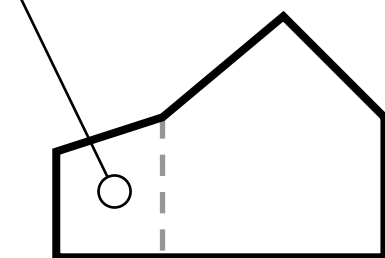
- A **simple structure** with a **sloping gable roof** formed by a one-story addition on the rear of a one-and-one-half- or two-story building
- Commonly has a **center entrance** and multi-paned double-hung windows
- **Simple materials** and design with **little or no ornamentation**
- The **saltbox shape of the roofline** and the central shed-roofed dormer. The dormer is off-center, a puzzling but charming feature.
- The **vertical board and batten siding**. Cut nails are clearly evident attaching the battens, dating and giving evidence of the historic importance of this feature. **Horizontal lapped siding on front of house is historic.**

Lean-to integrated in initial construction



TRADITIONAL SALTBOX

Lean-to addition




SALTBOX ADDITION

CODES REFERENCED

Town of Coupeville
Code of Ordinances
16.12.070.C Parking Requirements
16.12.070.G Design Standards

Ebey's Reserve Design Guidelines
4.6.4 New Residential Construction
4.11 Parking and Driveways



Street facing garage doors and oversized picture windows are typically not compatible in a neighborhood with historic residences. The scale of these large openings is inconsistent with the surrounding architecture.

15. Do not locate garages, parking lots, or carports **in front of the building**. Screen surface parking lots with appropriate vegetation. Provide parking at the rear of the lot, when feasible, and screen parking from adjacent properties.

Generally, does "in front of" mean street-facing or between the building and street?

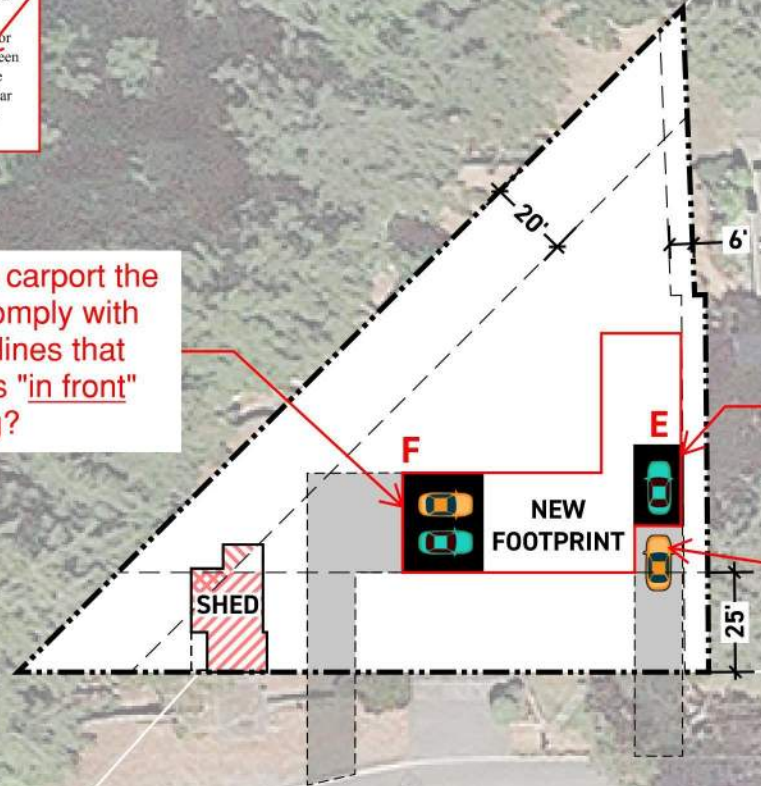
E. Build new house with attached single carport recessed from street-facing facade

F. Build new house with attached double carport facing sideways away from street

Is rotating the carport the only way to comply with Design Guidelines that forbid carports "in front" of the building?

Can we have a street-facing carport in new residential construction if it's recessed from main facade?

Can 2nd required parking space be in driveway?



4.6.4 Design Guideline #13

Wood windows are preferred on buildings.



Wood-clad high-performance windows and exterior doors



Horizontal unfinished cedar siding

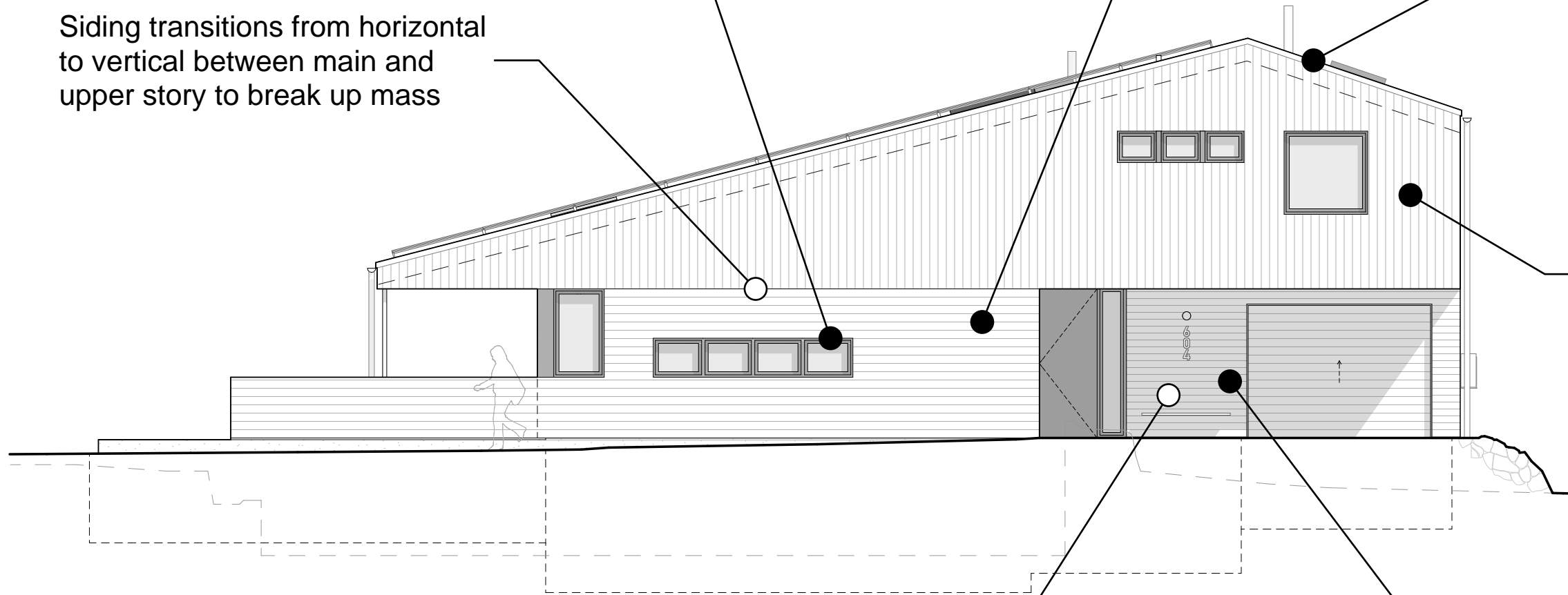


Metal standing seam roofing

Siding transitions from horizontal to vertical between main and upper story to break up mass



Vertical unfinished cedar siding



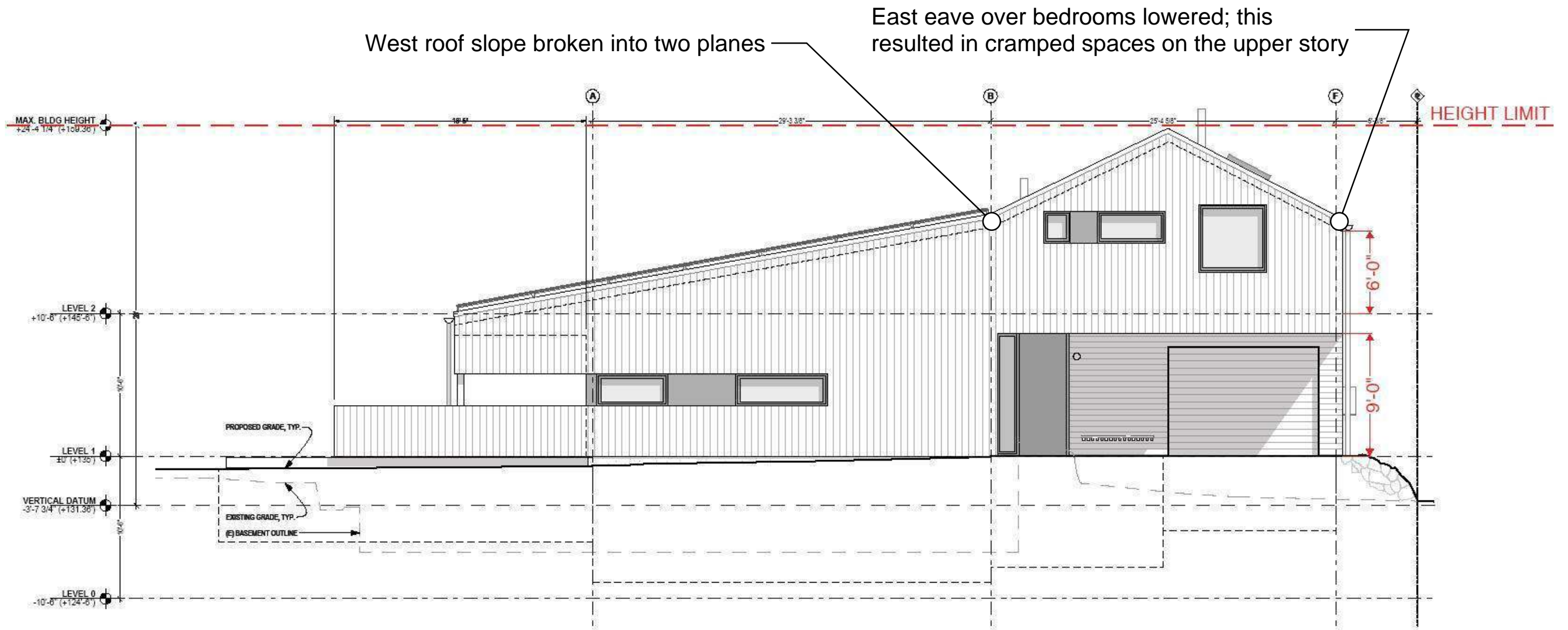
Stained wood siding is used in recessed areas to differentiate and further break up the facade



Stained horizontal T&G

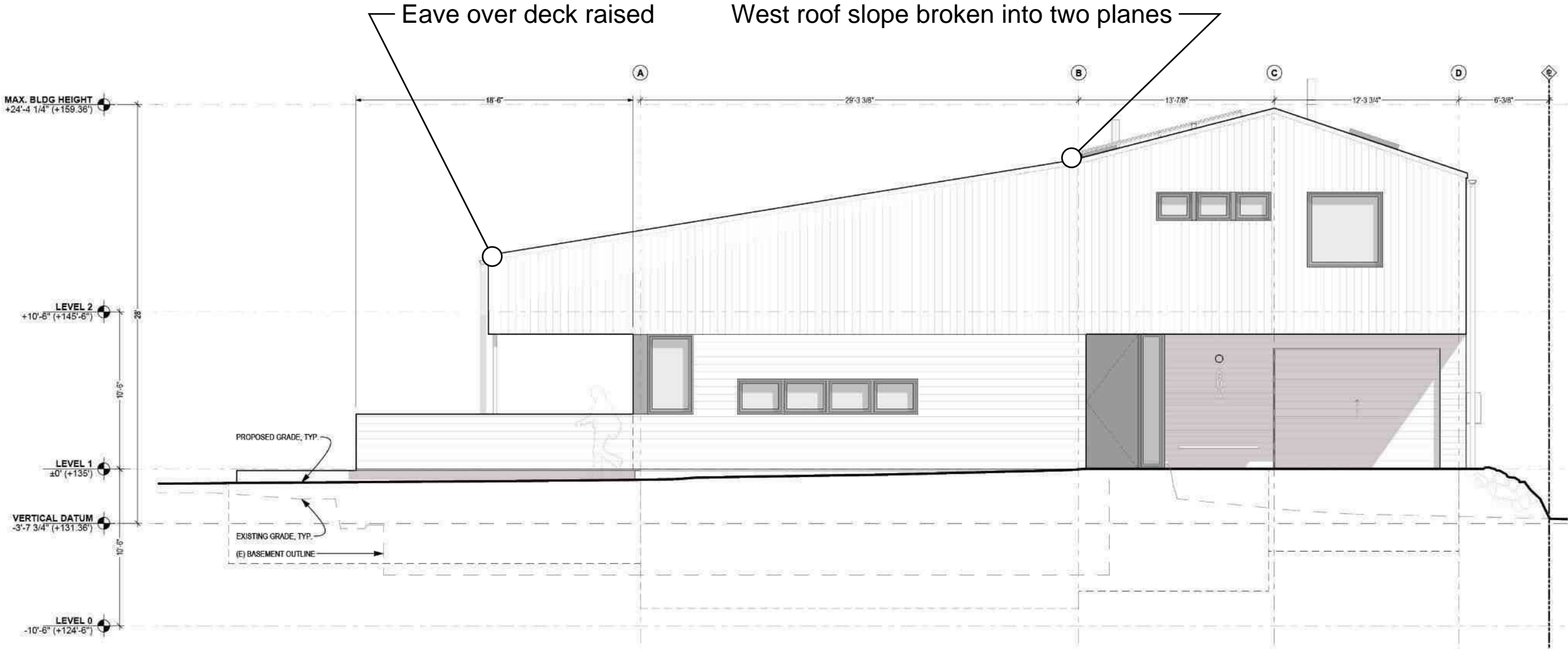
Street-facing elevation

We considered several ways to articulate the saltbox roof. Since the roof's ridge is at the maximum allowable height, we studied the possibility of lowering the eaves over the bedrooms to create a second slope on the west roof plane. This resulted in upstairs rooms that felt very cramped and did not improve the appearance of the facade.



Gambrel saltbox roof study #1

We also studied raising the eave over the deck to create a second slope on the west roof plane. However, we felt that the result looked bulky and increased the volume of unusable interior space on the upper story.



Gambrel saltbox roof study #2

Summary of HPC feedback from 9/28/23 hearing

CONCERN

RESPONSE

1 The site conditions of 604 Madrona Way make it an incredibly important property coming into Coupeville. The curve of Madrona Way highlights this property.

2 The bulk of the front facing façade and the extended roof line create an inconsistent form within the buildings surrounding setting.

see p. 10

3 The window orientation on the front façade is not consistent with the guidelines.

see p. 15

4 Having the main entrance recessed is not appropriate, recessing both the front door and garage makes the front door appear subservient to the garage.

see p. 19

5 Individually, the building meets many of the guidelines. However, when combined, the end result is inappropriate within its site-specific context.

see p. 1



Ebey's Landing National Historical Reserve

Certificate of Appropriateness

Andrew Thompson

301 NE Ninth St., Coupeville, WA

COA-23-050

Level A or B (HPC review requested)

Level C

Jurisdiction:

Town of Coupeville

I – PROJECT SUMMARY and BACKGROUND

As proposed, the project primarily consists of removing an existing sunroom and associated second-floor deck that faces NE 9th Street, while connecting the detached garage to the residence by an enclosed addition that will include a new bedroom and bathroom. Additionally, the Applicant proposes extension of shed style dormer on the second floor to facilitate additional square footage for the second-floor bedrooms of the primary residence. The proposed addition and dormer extensions are compatible yet distinct and allow for an interior remodel to improve the accessibility and livability of the residence.

Furthermore, the Applicant requests reconstruction of the existing stairway and second floor deck that allows access to the accessory dwelling unit above the garage along its eastern periphery, as well as removal of the existing ground level deck associated with the primary residence, and replacement with a smaller deck approximately one-quarter of the size.

Finally, the Applicant intends to remove groundcover and gravel along the eastern property line, and install a new walkway/uncovered porch that faces Kinny Street NE and will serve as the main entrance to the residence.

II – PERMIT DATA

Building or Land Use Permit Type	Certificate of Appropriateness
Application Number	COA-22-050
Application Date	October 9, 2022
Applicant/Owner	Andrew Thompson

III – SITE DATA

Address	301 NE Ninth St.			
Location	Corner of NE Kinney and NE Ninth St. Review Area 1			
Parcel Number(s)	S6415-00-14001-0			
Size of parcel(s)	0.11 Acres			
Historic Structure?	Yes	X	No	
Proximity to Historic Structures?	Yes	X	No	
Zoning Designation	RM-9600			
Critical Areas/Overlays?	Yes		No	X
Shoreline Jurisdiction?	Yes		No	X
NPS Easements?	Yes		No	X

IV – STAFF CONTACTS

Title	Name	Phone	E-mail
Assistant Planner	Joshua Engelbrecht	360-678-4461 Ext 104	assistantplanner@townofcoupeville.org

V. DISCUSSION

Per Coupeville Town Code, the property is non-conforming with regard to the lot coverage standards identified in Section 16.12.040(A). Therefore, the proposed ground-level addition would not be possible without the removal of impervious surface or existing structure elsewhere on the parcel. The removal of the sunroom is necessary for the Applicant to facilitate the addition and not exacerbate non-conformity with regard to lot-coverage. To that effect, the Applicant has also reduced the amount of groundcover, as well as reduced the size of a ground-level deck.

Coupeville Town code contains additional code sections that discuss the criteria for Relocation or Demolition of contributing buildings, structures, or historic resources (CTC 16.13.150). Due to the non-contributing status of this property, review of the proposed removal of the sunroom should not be considered under this code section. Section 4.11.5 of Design Guidelines also stipulates that “contributing” resources are the priority when reviewing demolition and relocation. With that said, Staff knows that the sunroom was not an original feature of the house and the enclosure of the porch occurred after original construction. Staff believes that its removal would not result in the loss of critical historic fabric. Should a future project seek to restore this property to “contributing status” this removal would not impede that task.

VI. APPLICABLE DESIGN GUIDELINES

SECRETARY OF THE INTERIOR’S STANDARDS

The Secretary of the Interior’s Standards apply:	Yes	X	No	
---	-----	----------	----	--

This project includes alterations to a historic (non-contributing) structure and is within 100 ft. of four other historic resources within Ebey’s Landing National Historical Reserve. Staff does not believe the current proposal will impact any adjacent historic structures, as the Applicant has sought to incorporate and extend existing architectural features of the structure.

DESIGN GUIDELINES

Staff has identified the following design guidelines as particularly relevant to the proposal:

CHAPTER 4.3 – ADDITIONS TO ALL BUILDINGS

Guiding Principle: For both historic and non-historic buildings, additions should be in keeping with both the character of the building itself and the surrounding neighborhood or setting. Older additions that have taken on significance of their own should be considered for preservation.

4.3.1 – Additions to All Buildings

Guideline	Staff Analysis
4.3.1.1	The existing distinctive features include gable roof, shed dormers, two-level garage with gable dormers, and several additions to the main house.
4.3.1.2	The proposed addition will not obscure views of adjacent historic buildings. The addition does not overwhelm surrounding historic resources.
4.3.1.3	Several additions already exist and are the reason for the structure’s non-contributing status. The proposed addition is compatible yet distinct, featuring a change in materials and setback that are distinct from the existing structure but also including a set of windows that is consistent with the style of existing windows.
4.3.1.4	The addition is one story compared to two story house and garage and the roofline of the existing house is maintained across the proposed addition. The proposed dormer extensions are in keeping with the existing dormer style.
4.3.1.5	The existing pattern along NE Ninth St. including spacing, setbacks, height, are non-issue. The pattern along NE Kinney St. will likely not be impacted. The adjacent properties (including 301 NE Ninth) consist of street facing garages. The proposed addition only connects the existing structures.
4.3.1.6	The proposed roof is compatible and extends the existing house roofline to connect with garage. The proposed dormer extensions are distinct from the gable roof and are compatible in form with the existing building.
4.3.1.7	The proposal is oriented to the primary building.
4.3.1.8	The proposed extensions of the existing dormers are appropriate to the existing building. The existing building with its likely additions is the same as its form at the time it was inventoried, but Staff is unclear if the existing dormers are part of the original building.
4.3.1.9	Window size and style is compatible with the existing windows.

4.3.1.10	The proposed addition between the garage and existing home is Board & Batton. The remaining materials are compatible with the existing building.
4.3.1.11	The addition does not change the mass / orientation of the garage.
4.3.1.12	Garage is generally the same color as house. The proposed project does not change the mass / orientation of the garage.
4.3.1.13	Changes to the decks and outdoor stairs are not visible from the public right-of-way.

4.3.2 – Additions to Historic Buildings

Guideline	Staff Analysis
4.3.2.1	The additions are proposed to increase livability of the home. The existing lot is non-conforming (approximately ½ the size of standard lots), and the proposal is limited by other town standards (lot coverage).
4.3.2.2	Project includes removal of the “sunroom”, which was previously an enclosed porch. The enclosure of the porch occurred between 1968 and 1983. No other fabric is being removed, just added to.
4.3.2.3	First of which is a ground level addition. The existing lot is very small and no other configuration exists to connect house and garage. The existing property is non-conforming in regard to lot coverage. The removal of the sunroom is necessary for the connecting addition. The addition connecting the garage and house is distinct from either the house or garage facades. Second, the extension of second story dormers is expected to create more useable space within the upper story rooms.
4.3.2.4	No storefront
4.3.2.5	The proposed project is compatible with the architectural features of the existing building. The proposed additions are relatively minor. The connection to the existing garage slightly changes the mass of the building,
4.3.2.6	The rhythm of development with this project is minimally impacted. The existing garage would not be considered “consistent” with the Design Guidelines; however the proposed addition is relatively minor compared to garage and the proposal is not expected to impact the massing, setback, or spacing drastically.
4.3.2.7	The proposal is similar in height to the existing building. The building is a non-contributing historic structure and has seen several additions since its original construction. The addition connects the existing building and garage together, and the addition does not overwhelm the original building. The building is on a small corner lot where positioning of an addition is very limited.

4.3.2.8	The rhythm of development with this project is minimally impacted. The proposed location of the addition is not able to be located away from the public right-of-way.
4.3.2.9	The proposed addition is distinct from the existing building and does not mimic the original building. The extension of the dormers is expected to match the existing dormers.
4.3.2.10	The extension of the east elevation dormer is minimally visible from the public-right-of way. Both dormer extensions are compatible with the existing roofline.
4.3.2.11	No contemporary features are being proposed as part of this project.
4.3.2.12	The existing decks are not visible from the right-of-way. The proposal includes a walkway to the main entrance that serves as a porch.

CHAPTER 4.11.5 – RELOCATION OR DEMOLITION OF HISTORIC BUILDINGS

Guiding Principle: Ebey’s Reserve has been determined to be historically significant to the nation. In consideration of this, it is the intention of the Reserve Partners to prevent the demolition of historically significant (contributing) buildings and structures.

4.11.5 – Demolition

Guideline	Staff Analysis
4.11.5.1	Building is a non-contributing historic resource. The sunroom removal is necessary due to lot size constraints.
4.11.5.2	As part of the overall project, the building is having interior remodeling. The orientation/adaptation of the sunroom to another use, the need to have a ground level bedroom, and connection to the garage cannot coexist due to the Town’s lot coverage standards.
4.11.5.3	There is no other viable pathway forward.
4.11.5.4	The building is a non-contributing historic resource. There have been several additions since the original construction, it is unclear what historic fabric remains, or could be restored without a large scale project that would likely decrease the livability for the property owners.

VII. RECOMMENDED MOTION

Based on the record developed to date, including application materials, staff report, evidence presented, and comments made at the public meeting, and finding application to COA-23-050 to be consistent with the Ebey's Landing National Historic Reserve Design Guidelines, I move to recommend granting a Certificate of Appropriateness.

VIII. FINDINGS OF FACT AND CONCLUSIONS OF LAW

Based on the analysis presented above, staff proposes the following findings of fact with respect to Application No. COA-23-050

1. An application was submitted for a Certificate of Appropriateness on October 9, 2023 for the construction of an addition, dormer extensions, and the removal of the existing sunroom and backyard decking.
2. The site is within Review Area 1 of Ebey's Landing National Historical Reserve and is classified as "additions or alterations to a historic building", requiring action on a Certificate of Appropriateness by the Historic Preservation Commission.
3. On October 19 and October 31, the Ebey's Reserve Committee reviewed the application and found it to be consistent with the applicable Ebey's Landing National Historical Reserve Design Guidelines.
4. In accordance with Chapter 16.13 of the Coupeville Town Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on November 9, 2023 and all wishing to be heard were heard.
5. In accordance with Guidelines in Chapter 4.3.1 the additions and dormer extensions are compatible in scale, massing, size, materials, and color.
6. In accordance with guidelines in Chapter 4.3.2 the proposed project is sensitive to the surrounding buildings, incorporates common elements found elsewhere in the Reserve, and is minimally impactful to the development pattern of the neighborhood.
7. In accordance with guidelines in Chapter 4.11.5 the proposed project is necessary to increase the livability and accessibility of the building.
8. After review of the proposed application and consideration of public comment and staff's recommendation, the Historic Preservation Commission finds the application consistent with the applicable Ebey's Landing National Historical Reserve Design Guidelines.

IX. APPEAL PROCESS

A decision to approve, conditionally approve, or deny a Certificate of Appropriateness may be appealed as an administrative determination, together with the associated permit, in conformance with the appeal procedures set forth in Coupeville Town Code Chapter 2.52 and Sections 16.06.060 and 16.13.080.

Exhibit A

COA Application



APPLICATION CHECKLIST

Certificate Of Appropriateness (COA) – Town of Coupeville

Ebey's Landing National Historical Reserve

FILLING OUT AN APPLICATION:

- Neatly print all information and provide signatures in **blue** ink.
- **If someone other than the property owner is applying for the permit, the application must be accompanied by a signed and notarized Agent Authorization Form** which is included in the COA application forms.

Please use the following checklist to ensure you provide all items listed below (CTC 16.13.130.C):

Applicant/Staff

- Completed Application Form, including original signatures of property owner(s) and applicable fees. Applicable fees, as established by the Town of Coupeville. Check with staff to confirm application fee. Review fees are generally \$50 for Level A; \$100 for Level B; \$150 for Level C application, \$200 for Level C application (historic buildings in commercial use).
- Level A applications: Original plus 1 copy
Level B applications: Original plus three (3) collated color copies of entire application packet
Level C applications: Original plus twelve (12) collated color copies of entire application packet.
- Signed and notarized original Agent Authorization form if someone other than the property owner is applying for permit (included in COA application forms).
- Complete description of the proposed work.
- Scaled site plan depicting the following:
 - Location and dimensions of proposed structures and improvements
 - Location and dimensions of existing structures and other improvements, such as buildings, driveways, utilities, propane tanks, fuels tanks and fences, including significant trees and vegetation.
 - Assessor parcel number.
 - North Arrow and scale of drawing.
 - Distance between existing property lines and existing or proposed structures.
 - Building setbacks per zoning requirements (see TCC 16.12.030).
 - Location of adjacent streets and easements with access to parcel.
- Scaled design elevations of new structures or improvements, alterations, and additions. (Show both existing and proposed.) (Required for building structures.)
- Clear color photographs of the building, object, site, structure, and adjacent properties.
- Samples of construction materials (when requested by staff). For historic buildings, submit new material samples for comparison with the existing or the original building materials.
- Any supplemental information deemed necessary and requested by the Town for review of the application (this usually related to complex or large-scale projects).

If the parcel is located in an archaeological area, any future development must be in compliance with all applicable laws pertaining to archaeological resources (RCW 27.53, 27.44 and WAC 25-48) and human remains (RCW 68.50). Development permit applications may require an archaeological survey report to be submitted along with the application.



Ebey's Landing National Historical Reserve Certificate of Appropriateness Application

REVIEWED TO THE EBHEY'S LANDING HISTORICAL RESERVE DESIGN GUIDELINES BY ISLAND COUNTY (Island County Code 17.04A) AND THE TOWN OF COUPEVILLE (Coupeville Town Code Chapter 16.13) IN COOPERATION WITH THE TRUST BOARD OF EBHEY'S LANDING NATIONAL HISTORICAL RESERVE AND THE HISTORIC PRESERVATION COMMISSION

I, the undersigned, do hereby respectfully make application for your review of my request concerning the property described below:

- Applicant(s) (main contact person):** *Agent for owner must complete the authorization on page 4*

Address: _____

Phone: _____ **E-mail:** _____

- Property Owner(s):**

Address: _____

Phone: _____ **E-mail:** _____

- Address of Subject Property:**

- Assessor's Parcel Number:**

- Zone:** _____

Present Use of Property (check all that apply):

Residential		Agricultural		Other	
Commercial		Institutional			

DESCRIPTION OF PROPOSED WORK:

Note: Please refer to the checklist on page 3 of this application for required submittal materials

Existing & Proposed Materials: Type n/a if not applicable

Doors: *(existing)* _____ *(proposed)* _____
Windows: _____
Deck/Railing: _____
Stairs/Ramp: _____
Siding: _____
Roofing: _____
Fence: _____

Type Y or N

- Does the proposed project involve a Historic Building?** Yes No
Is the property within 100 feet of a historic building? Yes No
Is there a Conservation Easement on the property? Yes No

If yes, please include easement information with application packet

Applicant's Acknowledgment

I am familiar with the Ebey's Reserve Design Guidelines as they pertain to my project. I certify by my signature below that the information in this application is accurate and complete. Planning staff has permission to copy materials, including architectural drawings, necessary for the review of my application.



Date _____

Applicant's Signature

Typically, applications require the following information

For projects that are not complex, feel free to ask if the standard submittal requirements are necessary.

- Clear color photographs of the building, overall site, nearby structures, and any adjacent properties.
- A complete description of the intended work.
- A scaled site plan depicting existing and proposed structures and improvements; including significant trees, tree planting, vegetative buffering, and landscaping. Include driveways and nearby roads for context and an “N” (north) arrow.
- Scaled design elevations of new structures or improvements, alterations, and additions. (Show both existing and proposed).
- Samples of construction materials (when requested). For historic buildings, submit new material samples for comparison with the existing or the original building materials.
- Any supplemental information deemed necessary and requested by the County or Town for review of the application (this usually relates to complex or large-scale projects.)
- Agent Authorization Form (page 4 if needed)
- Applicable Planning & Review Fees
 - *Level A applications; please provide original signed application and 1 copy*
 - *Level B applications; please provide original plus 3 copies*
 - *Level C applications; please provide original plus color 14 copies*

Review fees are generally \$50 for Level A; \$100 for Level B; \$150 for Level C (check with staff to confirm appropriate application fee)

FOR STAFF USE ONLY

Review Authority - based upon the application description and project location within the Reserve

Staff: _____ Level A
 HRC: _____ Level B
 HPC decision: _____ Level C
 HPC recommendation: _____ Level D
 Land Use _____ Construction _____

ADDITIONAL NOTES:

Agent Authorization Form

I, _____, the owner(s) of the subject property, understand that by completing this form I hereby authorize _____ to act as my agent. I understand that said agent will be authorized to submit applications on my behalf. I also understand that once an application has been submitted that all future correspondence will be directed to said agent.

1) _____
Property Owner Name(s) (print)

Signature(s)

2) _____
Property Owner Name(s) (print)

Signature(s)

Date

State of Washington)
County of _____)

I certify that I know or have satisfactory evidence that _____ signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

Dated _____

Signature of
Notary Public _____

Printed Name _____

Residing at _____

My appointment expires _____

1) _____
Property Owner Name(s) (print)

Signature(s)

2) _____
Property Owner Name(s) (print)

Signature(s)

Date

State of Washington)
County of _____)

I certify that I know or have satisfactory evidence that _____ signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

Dated _____

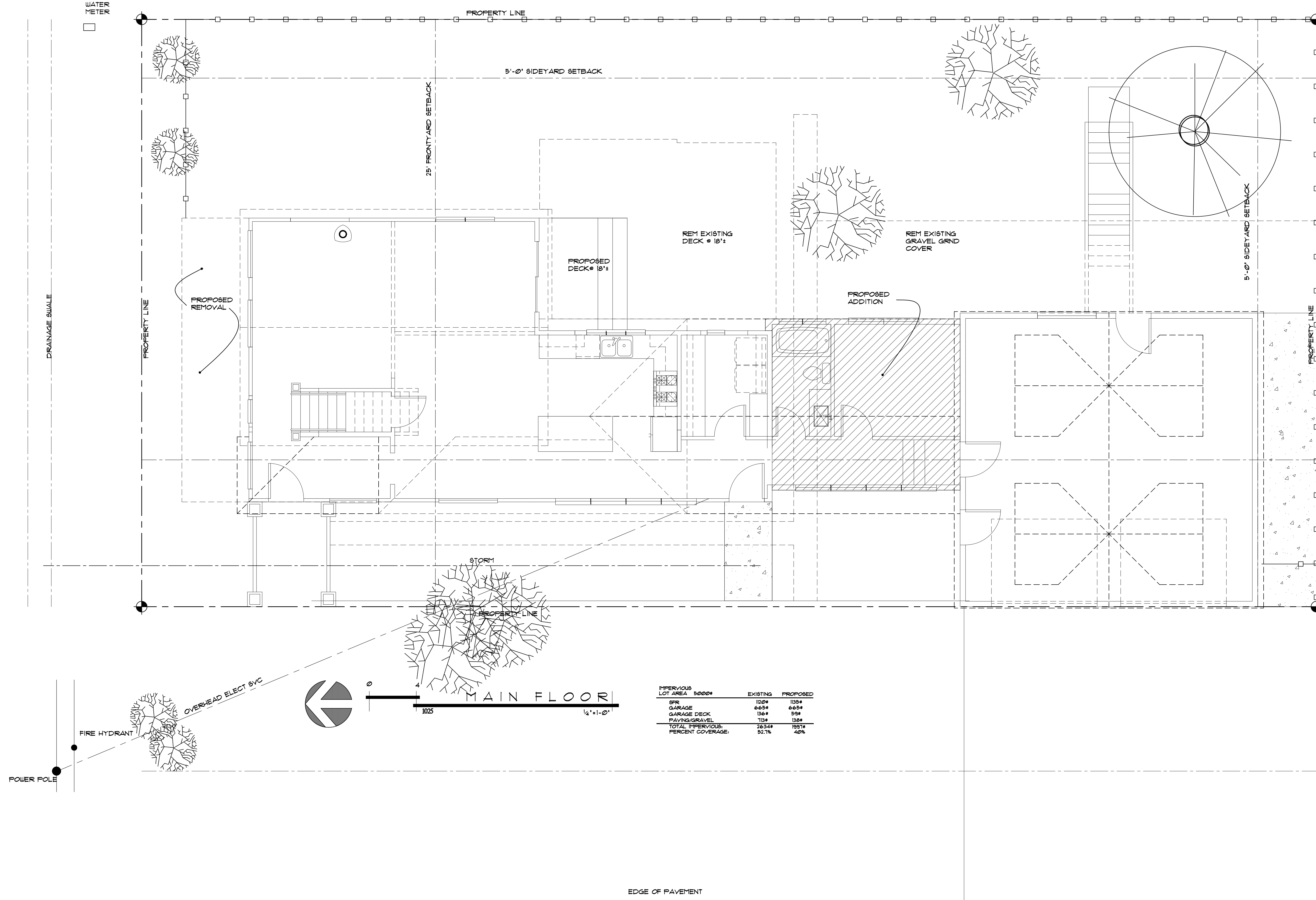
Signature of
Notary Public _____

Printed Name _____

Residing at _____

My appointment expires _____

NE 9TH STREET



WATER METER

DRAINAGE SWALE

PROPERTY LINE

PROPOSED REMOVAL

25' FRONTYARD SETBACK

5'-0" SIDEYARD SETBACK

STORY

PROPERTY LINE

MAIN FLOOR

REM EXISTING DECK • 18'

PROPOSED DECK • 18'

PROPOSED ADDITION

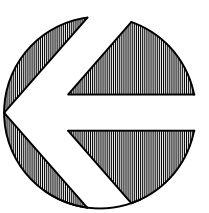
REM EXISTING GRAVEL GRIND COVER

5'-0" SIDEYARD SETBACK

PROPERTY LINE

FIRE HYDRANT

OVERHEAD ELECT SVC



EDGE OF PAVEMENT

NE KINNEY ST.

IMPERVIOUS LOT AREA 5000*	EXISTING	PROPOSED
SFR	112#	135#
GARAGE	64#	64#
GARAGE DECK	136#	59#
PAVING/GRAVEL	11#	13#
TOTAL IMPERVIOUS	265#	271#
PERCENT COVERAGE:	52.1%	46%

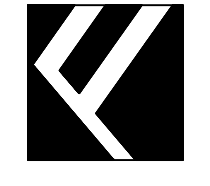
COPYRIGHT 2023 THE BROUN ASSOCIATES

PROJECT
 THOMPSON-BELFOR
 301 5TH ST. COUPEVILLE, WA 98235
 Andrew Thompson/Lauren Belfor
 301 NE 9th St. Coupeville, WA 98235
 OWNER: (253) 370-8540 andrew@andrewthompson.tv

SHEET NO.
 A1-1

CONTENTS
 PROPOSED
 SITE PLAN

NOT FOR CONSTRUCTION
 3561 REGISTERED ARCHITECT
 WICK & BOYD
 UNIT 101 BOSTON, MA 02111



THE BROUN ASSOCIATES/
 ARCHITECTS, INC.
 PO Box 658 Langley, Washington 98260 • Tel (360) 823-1234

PROJECT NO. _____

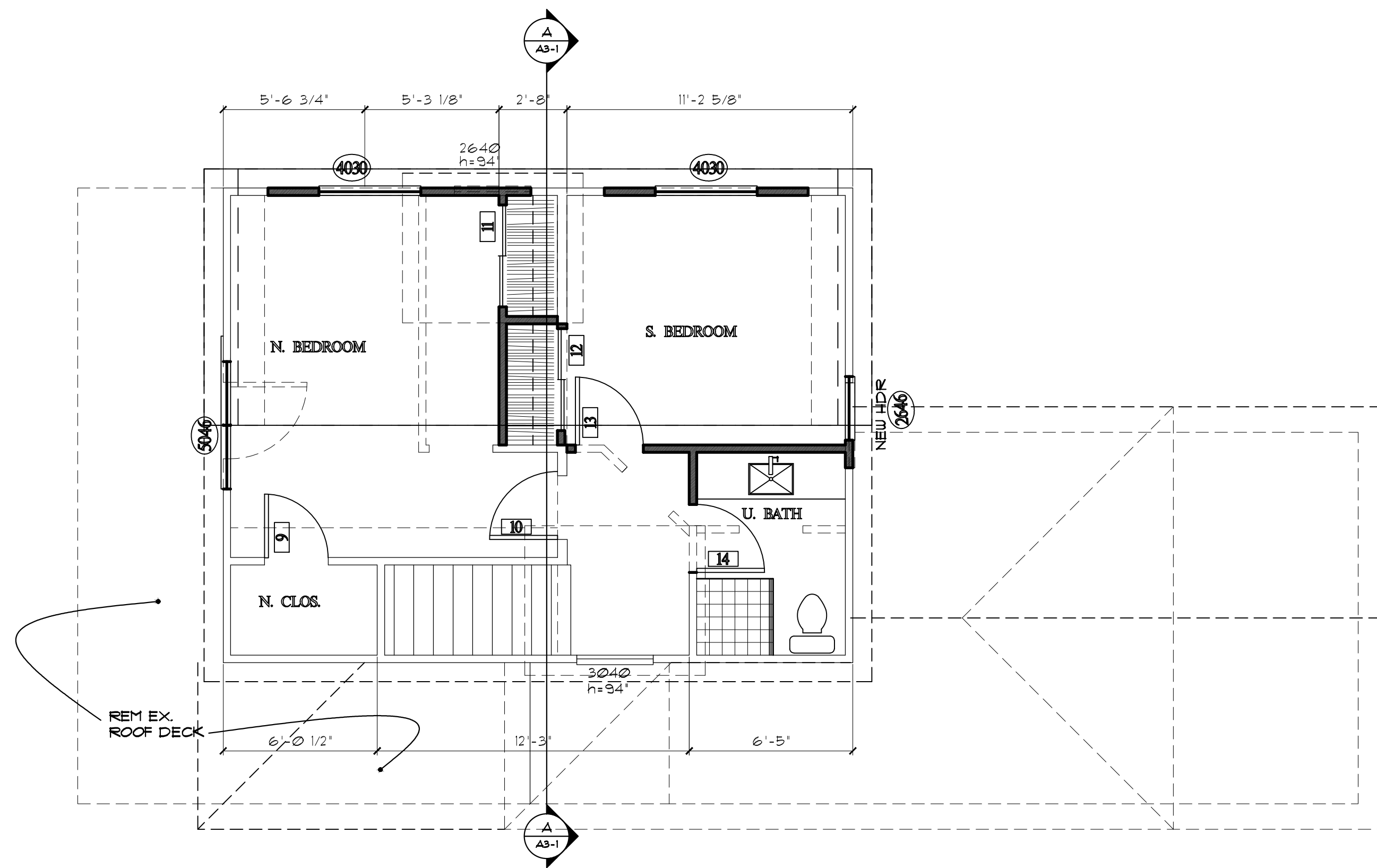
DESIGN: _____

DRAWN: _____

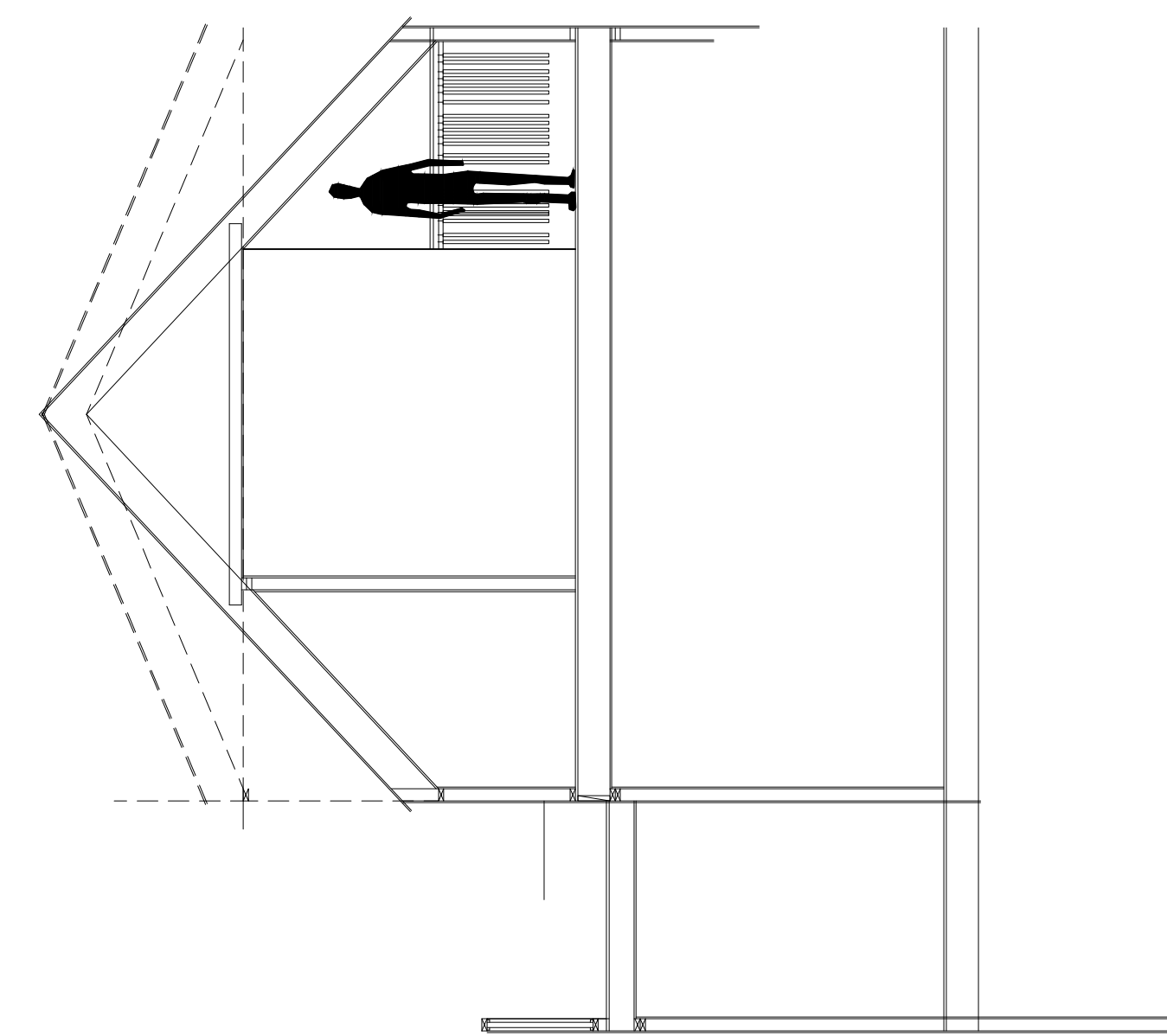
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DATE: 02/11/23

REVISIONS:

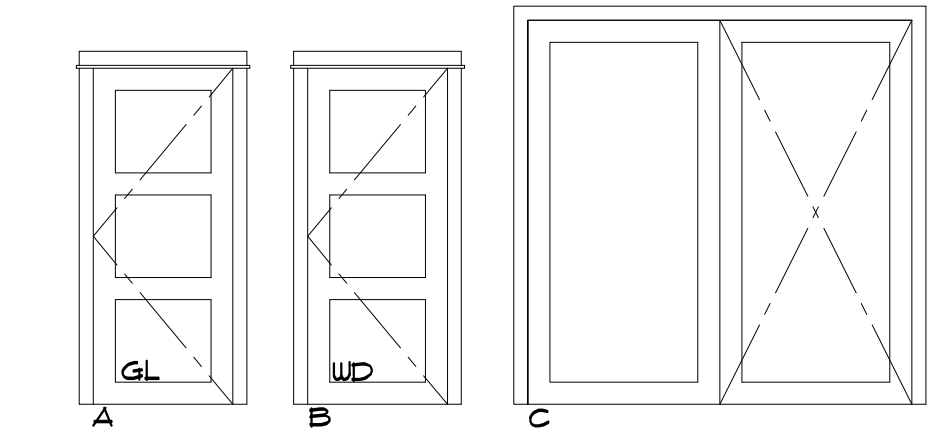


UPPER FLOOR
1/4"=1'-0"



DOOR SCHEDULE

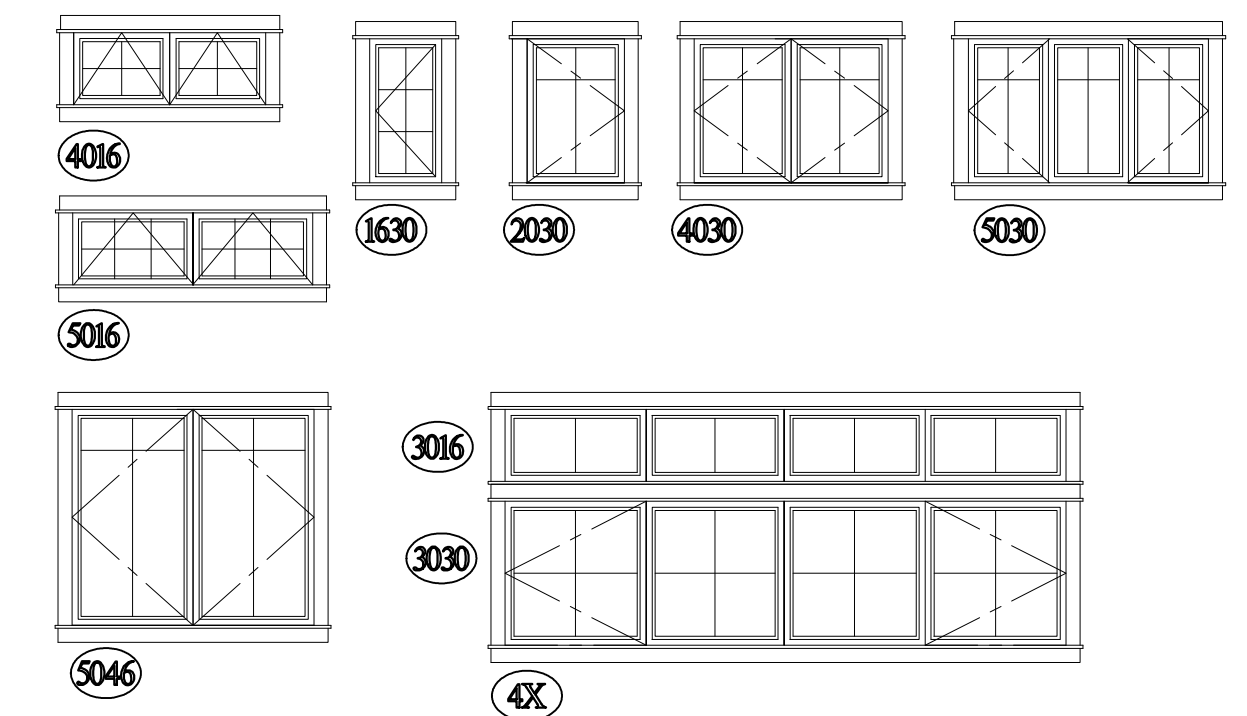
NO.	SIZE (W X H X TH)	TYPE	HDUR	FIN	REMARK
1	3'-0" x 6'-8" x 1 3/8"		I	ST	WS
2	2'-8" x 6'-8" x 1 3/8"			ST	
3	6'-0" x 6'-8" x 2 1/4"		MFR	MFR	GL SLIDER ØX
4	2'-8" x 6'-8" x 1 3/8"			ST	
5	3'-0" x 6'-8" x 1 3/8"		I	ST	WS
6	2'-8" x 6'-8" x 1 3/8"			ST	
7	2'-8" x 6'-8" x 1 3/8"			ST	
8	3'-0" x 6'-8" x 1 3/8"				WS
9	2'-6" x 6'-8" x 1 3/8"				
10	2'-8" x 6'-8" x 1 3/8"				
11	4'-0" x 6'-8" x 1 3/8"				BYPASS
12	4'-0" x 6'-8" x 1 3/8"				BYPASS
13	2'-8" x 6'-8" x 1 3/8"				
14	2'-8" x 6'-8" x 1 3/8"				



WINDOW SCHEDULE

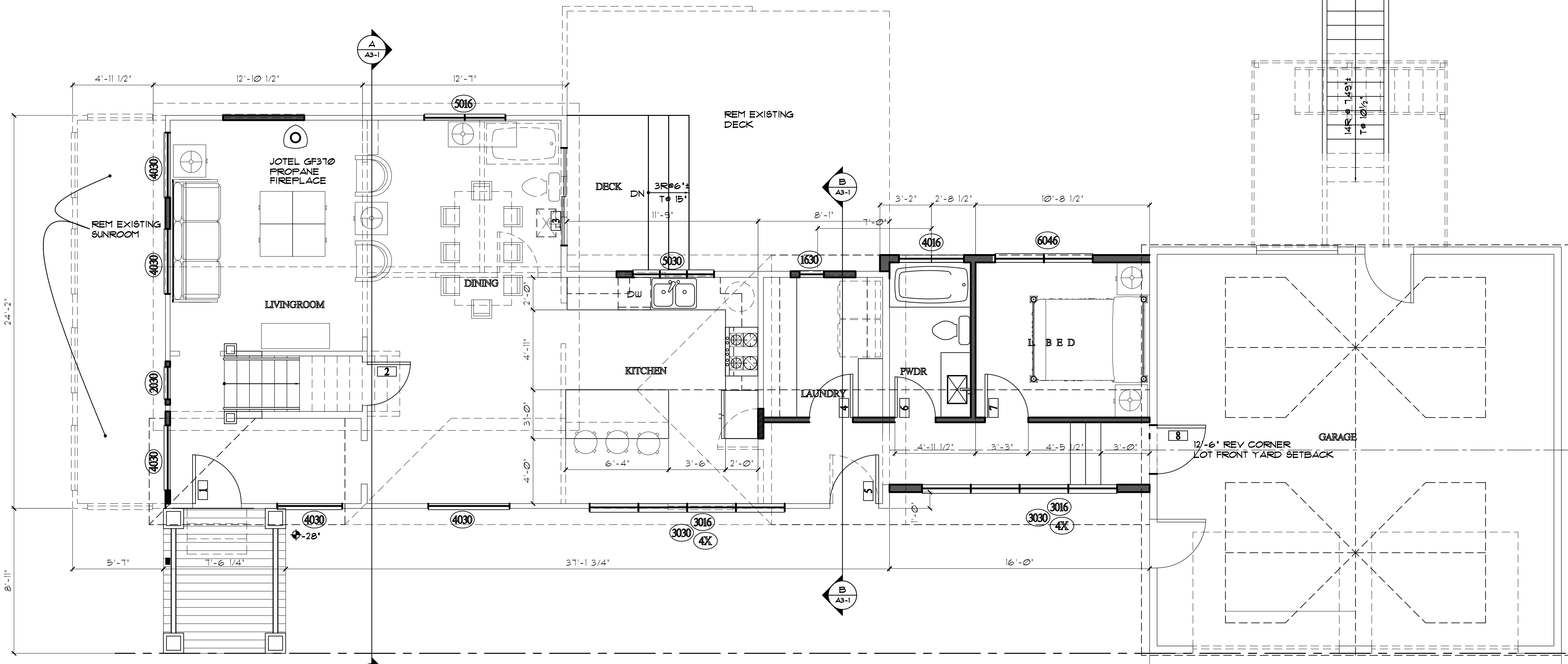
NO.	SIZE (W X H INCHES)	OP	MFR	REMARK
4016	48" x 18"	A/A		
5016	60" x 18"	A/A		
1630	18" x 36"	C		
2030	24" x 36"	C		
4030	48" x 36"	C/C		
5030	60" x 36"	C/C		
5046	60" x 54"	C/C		
3016/3030	144" x 60"	C/C		

PROVIDE SAFETY GLAZING AT ALL UNITS IN ACCORDANCE WITH IRC 302.4 WHETHER INDICATED OR NOT SCREENS • ALL OPERABLE SECTIONS



ELECTRICAL

- ⊕ SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ HALF-SWITCHED OUTLET
- ⊕ FOUR-FLEX OUTLET
- ⊕ 220V OUTLET
- ⊕ APPLIANCE CIRCUIT
- ⊕ FLOOR DUPLEX OUTLET
- ⊕ EXHAUST FAN
- ⊕ CARBON MONOXIDE/ SMOKE DETECTOR
- ⊕ TELEPHONE
- ⊕ DATA OUTLET
- ⊕ TELEVISION OUTLET
- ⊕ CEILING FIXTURE RECESSED CAN
- ⊕ WALL LIGHT FIXTURE
- ⊕ FLOURESCENT FIXTURE
- ⊕ SMOKE DETECTOR



MAIN FLOOR
1/4"=1'-0"

REVISIONS:

PROJECT NO. _____
DESIGN: _____
DRAWN: _____
CHECKED: _____
DATE: 02/11/23

THE BROWN ASSOCIATES/
ARCHITECTS, INC.
PO Box 658 Langley, Washington 98526 • Tel (360) 923-1234

35% REQUIRED PERMITS
NOT FOR CONSTRUCTION
RICK & BRENDA
UNIT OF BROWN

CONTENTS
MAIN FLOOR
PLAN

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PROJECT
THOMPSON-BELFOR
301 5th St. COUPEVILLE, WA 98225
Andrew Thompson/Lauren Belfor
301 NE 8th St. Coupeville, WA 98225
OWNER: (253) 370-8540 andrew@brownassociates.com

SHEET NO.
A2-1

PROJECT NO.	REVISIONS:
DESIGN	_____
DRAWN	_____
CHECKED	_____
DATE: 03/11/23	_____

THE BROWN ASSOCIATES/
ARCHITECTS, INC.



PO Box 658 Langley, Washington 98260 • Tel (360) 523-1334

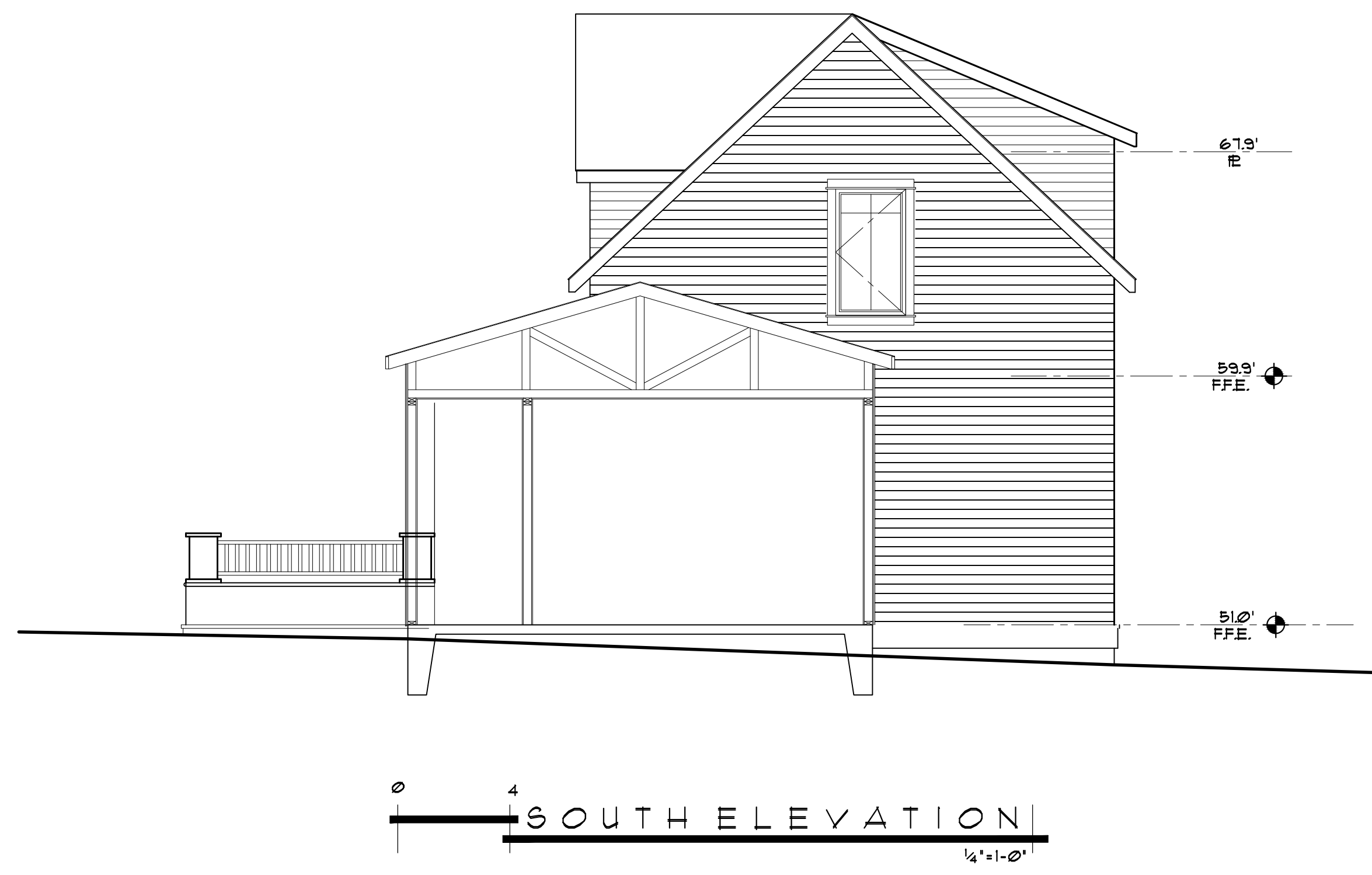
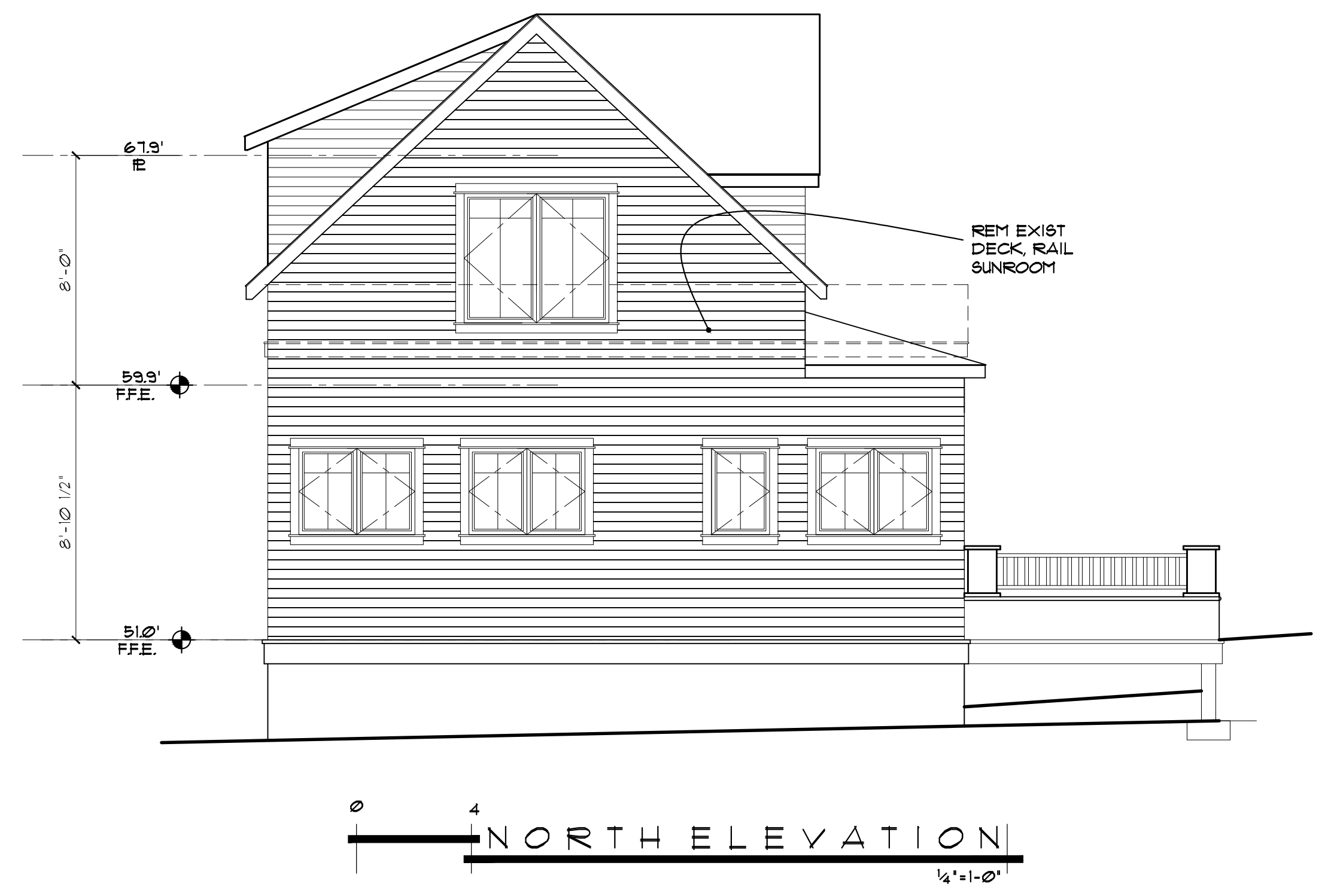
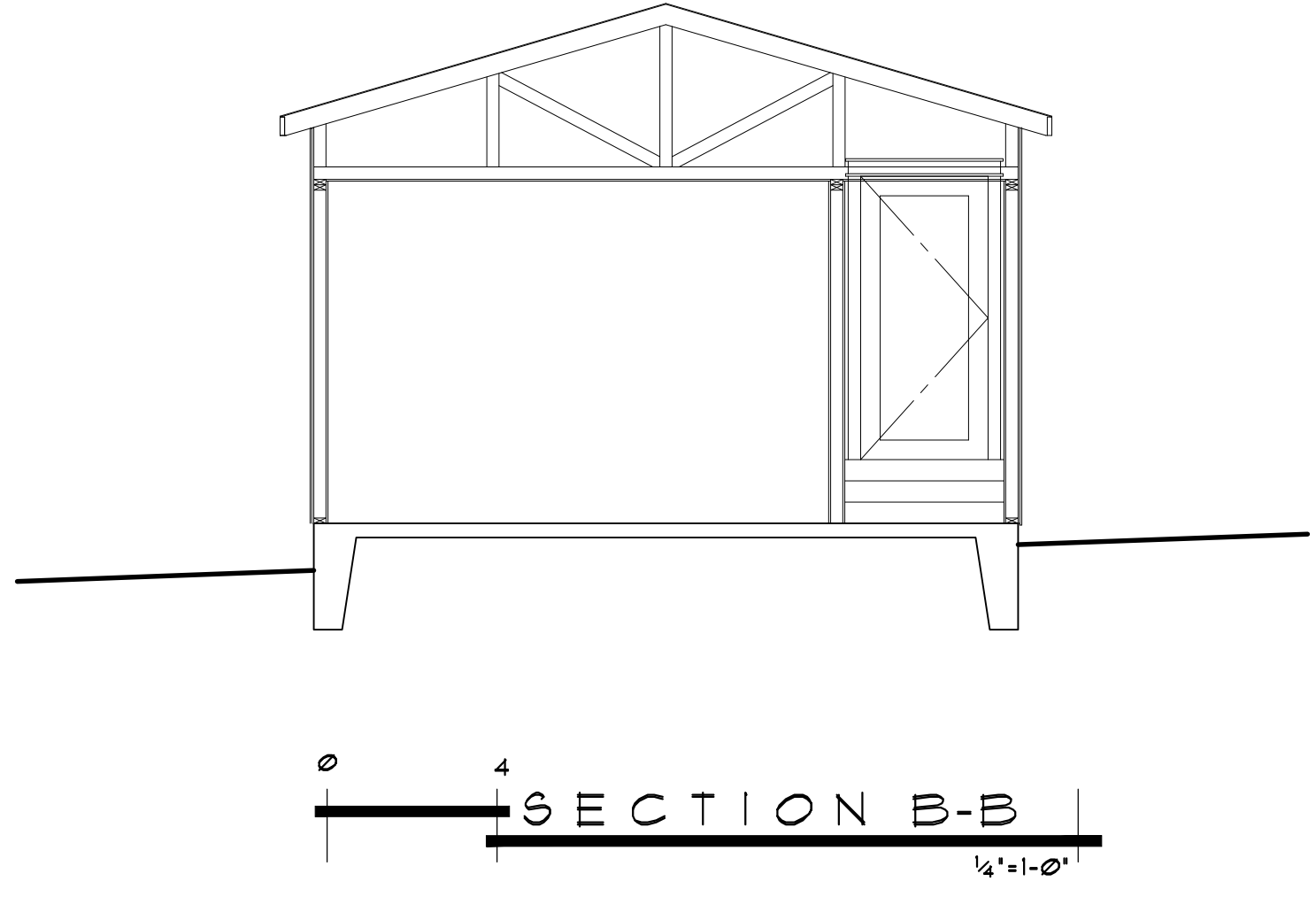
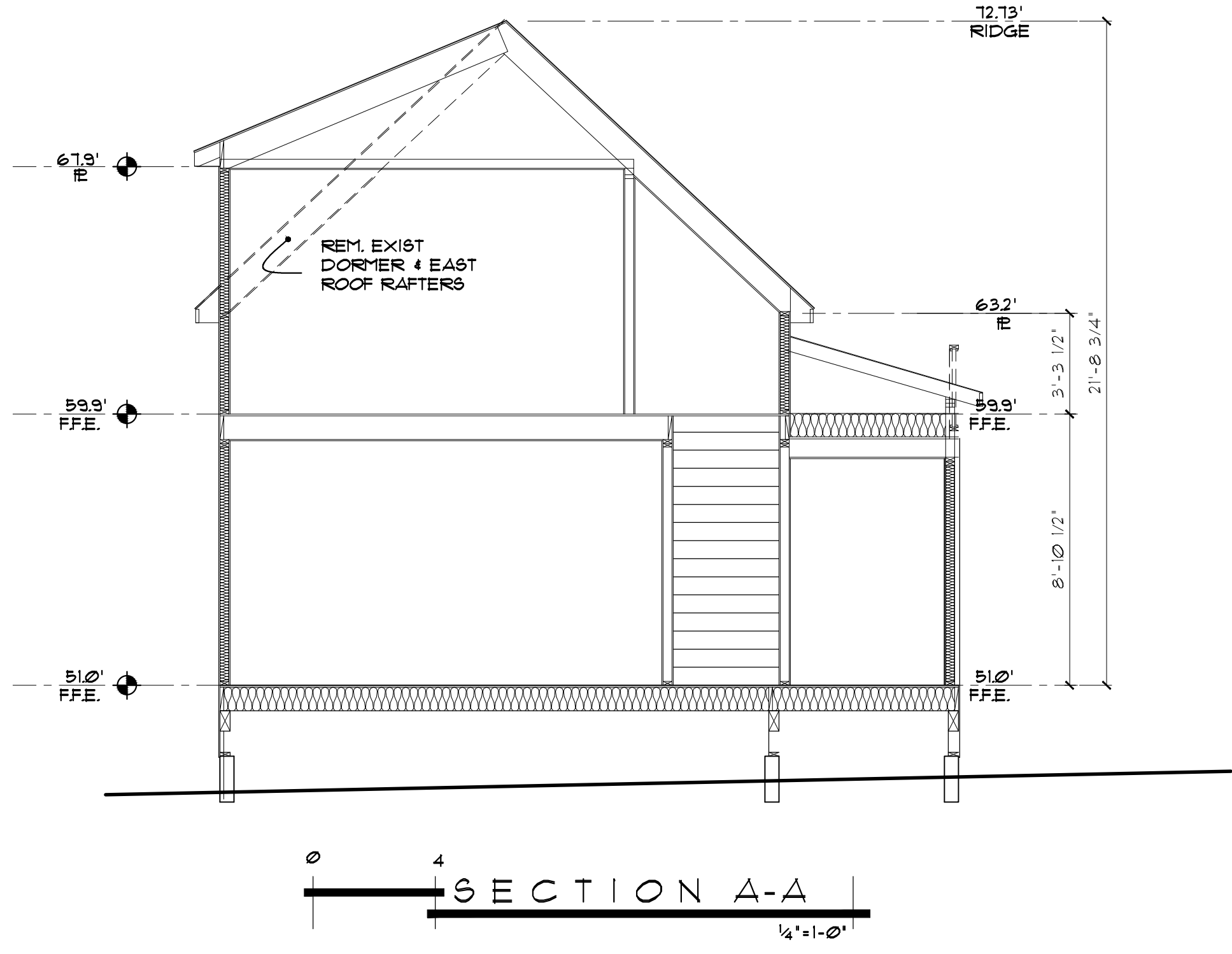
NOT FOR CONSTRUCTION

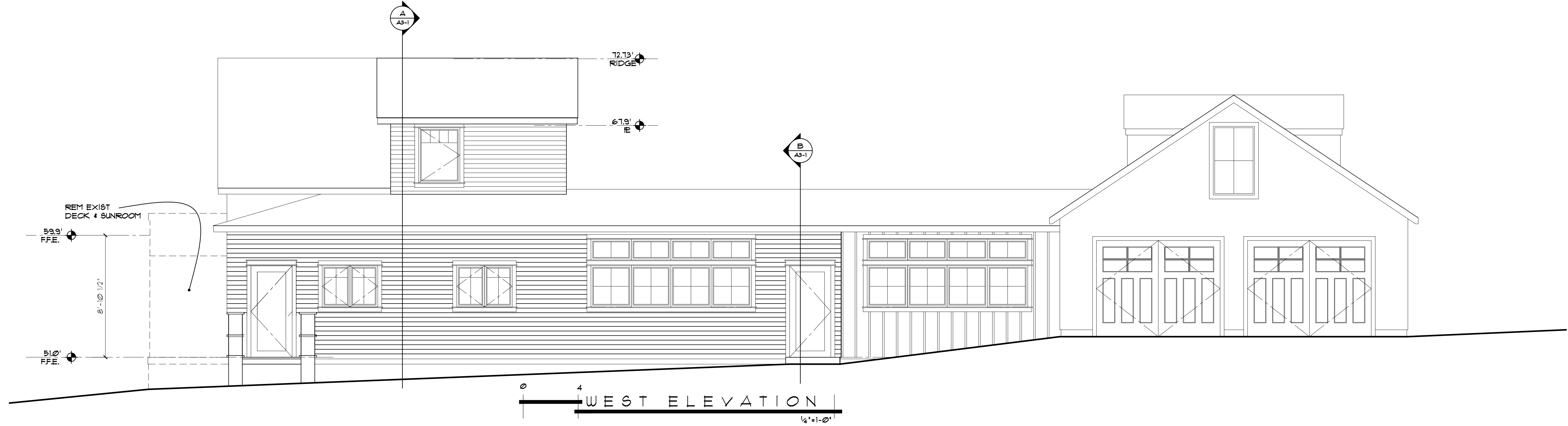
CONTENTS
SECTIONS
ELEVATIONS

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PROJECT
THOMPSON-BELFOR
3015TH ST. COUPEVILLE, WA 98235
Andrew Thompson/Lauren Belfor
301 NE 8th St, Coupeville, WA 98235
OWNER: (252) 370-8540 andrew@andrewthompson.tv

SHEET NO.
A3-1





WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

PROJECT NO.	REVISIONS:
DESIGN	_____
DRAWN	_____
CHECKED	_____
DATE: 03/11/23	_____

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ARCHITECTS, INC.

PO Box 658 Langley, Washington 98526 • Tel (360) 923-1334

NOT FOR CONSTRUCTION

CONTENTS
ELEVATIONS

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PROJECT
THOMPSON-BELFOR
3015TH ST. COUPEVILLE, WA 98239
Andrew Thompson/Lauren Belfor
301 NE 8th St. Coupeville, WA 98239
OWNER: (252) 370-8540 andrew@andrewthompson.tv

SHEET NO.
A4-1

Exhibit B

Ebey's Landing National Historical Reserve
Design Guideline Sections

5. If secondary entries/exits are required, locate them so that the character of the building and its primary features are not affected.
6. Install air conditioners and other mechanical and service equipment so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.
7. Save decorative material or features removed during rehabilitation work and reinstall or re-use the material in other appropriate areas, if possible.
8. Construct fire exits, stairs and access ramps so that they are as unobtrusive as possible and do not damage historic materials and features. If possible, construct them so that they can be removed in the future with minimal damage to the historic fabric.
9. Find creative ways to provide parking for historic buildings that has been adaptively re-used. (Refer to "Parking" on page 57).

CHAPTER 4.3 - ADDITIONS TO ALL BUILDINGS

As needs change, building additions may be needed. Insensitive additions can potentially alter the character of the neighborhood setting. If done with sensitivity to the Reserve's historic character, additions can be an asset and increase the usefulness and economic value of properties.

4.3.1. Additions to All Buildings

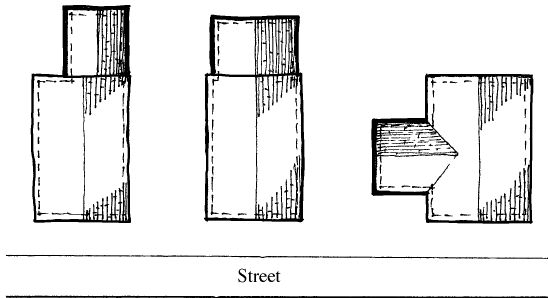
Guiding Principles: *For both historic and non-historic buildings, additions should be*

in keeping with both the character of the building itself and the surrounding neighborhood or setting. Older additions that have taken on significance of their own should be considered for preservation.

Design Guidelines

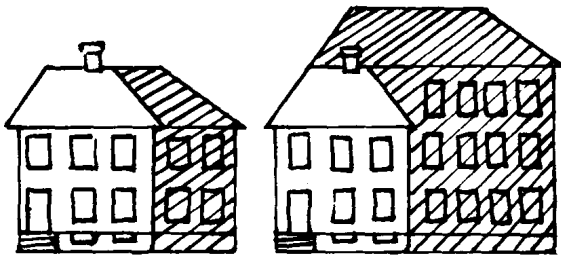
1. Before beginning work on any building, identify the building's characteristics and its character-defining features. Even on a non-historic building, it is usually better to retain the distinctive features of the building.
2. Additions to any building within 100 feet of an historic building must not obscure the view of the historic building from the street and must not overwhelm the historic building in massing, scale, size, height or color.
3. Do not imitate a historic style or period of architecture in designing a new addition to a historic building. An addition should be designed and constructed to be recognized as a product of its own time, distinguishable from and congruous with the historic building. There are many different ways of making this subtle but important distinction from old to new construction. Some of the more common techniques include a subtle change in material, changes in setbacks between the existing building and addition, the use of different architectural style elements, and creating a jog in the foundation. Use similar materials as those found on the original building but differentiate old from new. Consider use of windows or cladding materials that are slightly

different in design or detailing to create a distinction from the historic building.



The visibility of the left and middle additions would be limited from the sidewalk and the street. The addition to the right is very visible from the sidewalk and street and should be avoided.

4. The overall design of an addition should be in keeping with the design of the primary structure. Keep the size of the addition small in relation to the main structure.



The addition to the left has a similar and appropriate scale, proportion, overall form and window pattern as the existing building. The addition to the right is significantly larger than the existing building and is visually overwhelming and not compatible.

5. Recognize and respect the existing pattern along the street, such as building spacing, setbacks, height, size, and massing.
6. Pay careful attention to make the rooflines and roof pitch of the old and new sections compatible. Gable or shed roofs are generally appropriate; flat roofs are usually inappropriate except in

areas where they are already an established pattern.

7. Orient the new addition to the primary building.
8. If adding a dormer, design it to be appropriate in character, scale, and style to the original building.
9. Use windows visible from the public right-of-way that are compatible with those of the original building. Also use a consistent wall-to-window ratio.
10. Use building materials that are compatible with the original building and its surroundings.
11. Design a garage or carport addition so that it does not dominate the main facade. Placing the garage so that it is inconspicuous from the street is preferred. In any case, the garage or carport should be set back from the street-facing facade so that the entry or front porch is the dominant feature.
12. Design garage doors to minimize visual impact by matching the color of the garage door to the color of the garage siding in order to make it as unobtrusive as possible. Also minimize the visual impacts of the driveway.
13. Locate fire exits, stairs, landings, and ramps at the rear or in inconspicuous side locations.

4.3.2. Additions to Historic Buildings

Design Guidelines

1. Consider alternatives to constructing an addition. Remodeling the interior may increase the livability of the building

without changing its exterior appearance.

2. When planning an addition to a historic building, minimize the loss of the historic building fabric.
3. Three distinct types of additions should be considered.

- a. Ground-level additions that expand the footprint of a structure are preferred. Such an addition should be to the rear or inconspicuous side of a building. This will have the least impact on the building's historic character.
- b. Additions to the roof may be considered if simple in character and set back substantially from the front of a building. An addition may be made to the roof of a building if it does the following:

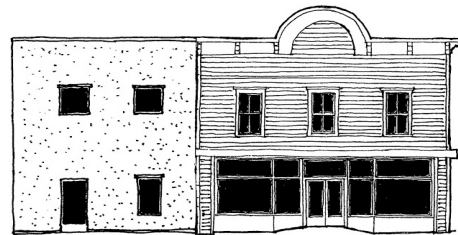
- i. The addition is set back from the primary, character-defining features.
- ii. The design is modest in character so it will not detract from the historic facade.
- iii. Consideration is given to a dormer addition in order to increase headroom in an attic and enhance useable space.
- c. In limited situations, additions along the wall plane will be considered on a case-by-case basis. This option is the most difficult to achieve compatibility and requires the most care in order to respect the historic relationship of the building to the street. Such an addition should

provide a visual distinction between the existing structure and addition.

4. An addition should maintain the alignment of storefront elements, moldings, cornices and upper-story windows that exist on the main part of the building and its setting.



Recommended

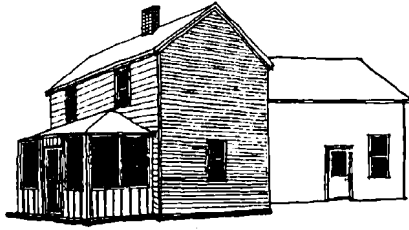


Not Recommended

The proportions of the windows at the top addition are consistent with those found at the original building. By contrast, the windows of the bottom addition are significantly different in size and type. The siding treatment of the bottom addition is not compatible for the building.

5. Design the addition so that it is compatible with the massing, size, scale and architectural features of the building, but subordinate in height, massing, color, and overall appearance.
6. Respect the rhythm of the existing pattern along the street, including building spacing, setback, height, size, massing, roofline, and window/door type and placement.
7. Additions should:
 - a. Retain compatibility with the original foundation by maintaining

similar height and using compatible materials.



Recommended

Additions to contributing houses should have an equal or lesser number of stories above grade as the original structure. That is one story houses may have one story additions and two story houses may have one or two story additions from grade. Properties where grade drops to the rear may be able to add a basement level in an addition.



Recommended

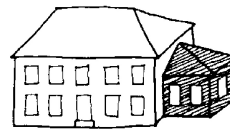


Not Recommended

- b. Be done in a manner that, if they are removed in the future, the essential form and historic integrity of the property would be unimpaired.
- c. Not overwhelm the main building or adjacent structures. Placing the addition at the rear of the building, or setting it back from the main section, is preferred. A separate building linked by an enclosed

hallway or breezeway may be a good solution.

8. Consider the effect any addition may have on the character of the setting as seen from the public right-of-way. For example, a side addition may change the sense of rhythm established by side yards in the block. Locating the addition to the rear could be a better solution in such a case.



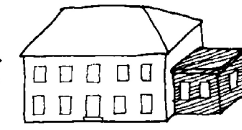
Recommended



Recommended



Recommended



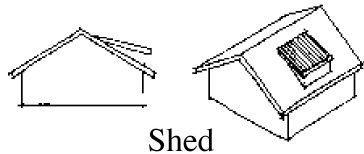
Not Recommended

The size and placement of all four additions is similar, however the roof forms vary. It is generally more appropriate to add a sloped roof addition to a historic building unless the historic building originally had a flat roof.

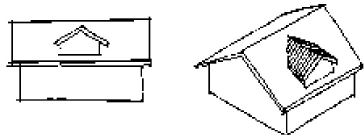
9. An addition is to be compatible with the original building but not convey a false sense of history by mimicking the original building. The addition should not be more ornate or of an earlier appearance than the original building. The evolution of the building over time should be clear. Some techniques to achieve this include a subtle change in material, changes in setbacks, the use of different architectural elements, or a jog in the foundation. Keep the new addition simple so the historic building stands out.
10. Design dormers to be compatible with the existing roofline and in scale and

proportion to the overall building and the original windows. If possible, place new dormers at the rear of the house and as much out of view from the public right-of-way as possible.

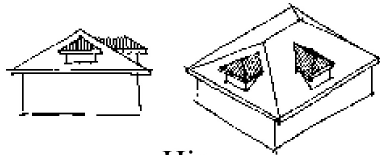
Dormer Types



Shed



Gabled



Hip

11. Do not add contemporary features such as sliding glass doors on facades that are visible from the street.
12. Locate decks where they are not visible from the public right-of-way. Design them to be simple in style and compatible with the size and materials of the house. In order to avoid damage to the historic fabric of the building, it is preferable to construct them so that they are self supporting and are not directly connected to the house (though they may touch the building).

CHAPTER 4.4 – LAND DIVISION

The pattern for new construction is set in the initial division of the land—the creation of plats and short plats.

Guiding Principles: *Consider the long-term impacts that lot arrangements have on the Reserve's rural character.*

New development proposed adjacent to scenic roads and landscapes should be designed to preserve distinctive features of those areas— including tree canopy, winding road character, open fields, and scenic and historic views— and to limit the visibility of new development. New development adjacent to, or within, scenic open vistas shall be clustered and designed to avoid adverse impact to scenic and historic resources.

Design Guidelines

1. Divide property so that the home sites will protect historic land uses and preserve prime agricultural soils.
2. Follow existing implied land divisions such as tree lines, hedgerows, and roadways, when possible and practical. Driveways and roads should preserve existing native vegetation, coincide with natural contours, respect historical patterns of development, and maintain a rural character in their width and materials.
3. In designing subdivisions and locating boundaries of open areas, arrange the proposed lots and designate building envelopes so new construction is located most inconspicuously with regard to open land. For example, confine a useable building site on an open lot to an edge, such as a wooded area or a road. Designating “building envelopes” is encouraged to confine new construction to one portion of a lot, leaving as much of the remaining land

the public road by landscaping to reduce their visibility.

2. Elsewhere in the Reserve, install solar heating systems and photovoltaic panels in a manner that is compatible with the form of the building, preferably so that they do not project above the ridge of the roof.



Good Example of compatible installation, below ridgeline, of photovoltaic panels on Coupeville Public Library.

3. Windmills and wind turbines in the Reserve will be considered on a case-by-case basis, only for the purpose of providing electricity or pumping water for the property on which it is located. A windmill or turbine must be designed and located to be as unobtrusive as possible.
4. If the structure has the potential to introduce visual elements that significantly diminish or alter the Reserve's cultural landscape, project restrictions may be imposed even if they impair installation, maintenance or use of the windmills and wind turbine.
5. In nonresidential developments:
 - a. Incorporate transportation solutions, along with site plans, that acknowledge the need for bicycle

parking, carpool staging, and proximity to mass transit. Include access to existing trail system.

- b. Encourage alternatives to traditional commuting.
- c. Site the building with public transportation access in mind and limit on-site parking.
- d. Encourage the provision of refueling and recharging facilities for alternative fuel and electric vehicles.
- e. Use porous alternatives to traditional paving for roads and walkways.
- f. Site buildings to be able to integrate passive and active solar strategies.
- g. Consider the potential impact on future developments adjacent to the site (e.g., solar, day lighting, ventilation, etc.).

CHAPTER 4.11.5 - RELOCATION OR DEMOLITION OF HISTORIC BUILDINGS

Guiding Principle: *Ebey's Reserve has been determined to be historically significant to the nation. In consideration of this, it is the intention of the Reserve Partners to prevent the demolition of historically significant (contributing) buildings and structures.*

GENERAL

A property owner who wants to demolish (in whole or in part) or relocate a historically significant building or structure must receive a Certificate of Appropriateness from the Historic Preservation Commission before the action will be approved by the Town or County. A pre-application conference with the Reserve

Committee is the first step. Detailed additional information on the process and the application requirements can be found in ICC 17.04 and CTC 16.13. Demolition is subject to further review under the State Environmental Policy Act (SEPA), pursuant to WAC 197-11-800 (2)(f).

DEMOLITION

When demolition would be detrimental to the historic character of the Reserve, then the application shall be denied unless:

1. The denial or partial denial will deprive the owner of reasonable economic use of the property.
2. The building, structure, or portion to be removed cannot be adapted for any other use, whether by the owner or by a purchaser, that would result in a reasonable economic return.
3. There is no viable or reasonable alternative which would have less impact.
4. The structure is so deteriorated, and there is so little historic fabric remaining, that it would be an inordinate burden to retain the historic, cultural, and architectural significance of the structure through rehabilitation.

The Certificate of Appropriateness for demolition may be issued with conditions such as:

1. Approval of a replacement building before demolition.
2. Adequate evidence of financial ability to complete the replacement project.

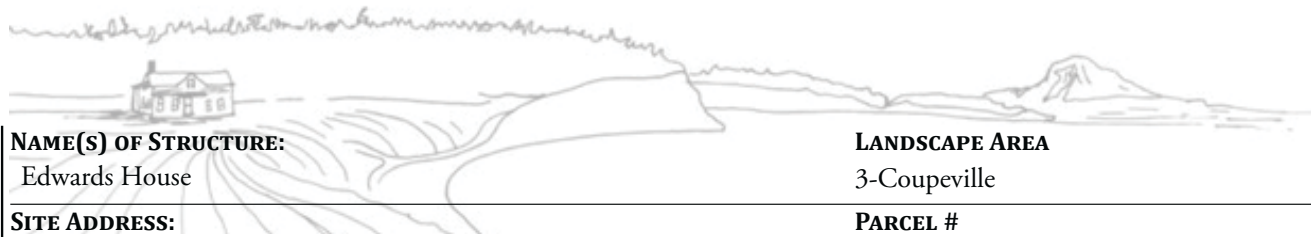
3. A requirement that the building be thoroughly documented through photographs or other methods for permanent retention in local, regional, or national archives.

RELOCATION

Guiding Principles: *Relocation of a historic building is discouraged but may be considered if it can be done while preserving the historic character of the building and the integrity of the setting and when it is the only way to prevent demolition of the building.*

Design Guidelines

1. Relocation of a structure within its original neighborhood is strongly preferred.
2. Relocation of a structure to a setting similar in size and topography to the original is also preferred.
3. A relocation plan should be prepared to ensure that the least destructive method of relocation will be used. Buildings must be carefully relocated to retain original architectural details and materials.
4. The appearance, including materials and height, of the new foundation for the relocated historic structure should match that original to the structure as closely as possible, taking into account applicable codes.
5. A building may be moved into the Reserve if it maintains a sense of architectural unity in terms of style, height, scale, massing, and materials for its new setting.



PWRO Inventory

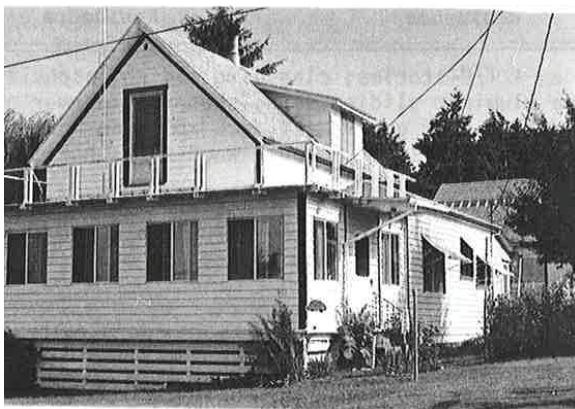
Ebey's Landing National Historical Reserve

NAME(S) OF STRUCTURE: Edwards House	LANDSCAPE AREA 3-Coupeville
SITE ADDRESS: 301 Northeast 9th Street	PARCEL # S6415-00-14001-0
OWNER/ADMIN ADDRESS: Emily Ramsey	CITY/STATE P.O. Box 1066, Coupeville, WA 98239
PHYSICAL DESCRIPTION INCLUDING FORM, STYLE, MATERIALS, MAJOR ALTERATIONS: Vernacular farmhouse. Wood frame set on post and block foundation; rectangular plan with one story hip roof addition on south facade; 1 and 1/2 stories; clapboard siding; asphalt shingle gable roof; off center entrance on west facade. Exterior features include aluminum sliding sash; shed-roof dormer on west facade; boxed cornice; plain frieze board; cornerboards; 1 story enclosed flat roof porch with deck above on north and west facades; shed roof overhang above entry on west facade; enclosed shed roof porch on south facade; wood sill; horizontal wood panel skirting.	
OUTBUILDINGS & LANDSCAPE FEATURES (SPECIFY CONTRIBUTING): One wood frame, gable roof outbuilding.	
PROPERTY HISTORY: Archie Edwards purchased this house in 1968 and altered the exterior appearance. The front porch was enclosed and a deck was built on the roof. An addition was made to the east facade and a garage built to the south.	
SIGNIFICANCE:	

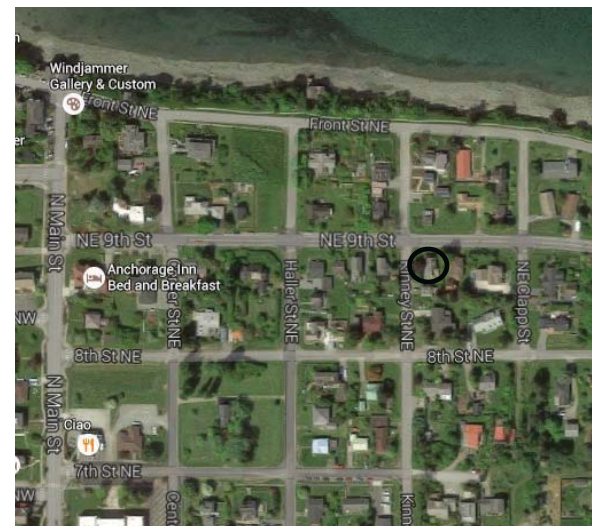
CONTRIBUTING
NON-CONTRIBUTING X
CONSTRUCTION DATE: 1890
ADDITION(S):
ORIGINAL USE: Residence
CURRENT USE: Residence
CONDITION:
EXCELLENT ____
GOOD ____
FAIR <u>X</u>
DETERIORATED ____
RUINS ____
OTHER SURVEYS:
1937 (HABS) ____
1983 <u>X</u>
1995 ____
LANDSCAPE PAGE CROSS REFERENCE <u>LA 29</u>
SURVEYOR: DATE: A. Simpkins July 6, 2015



From N (2015)



From N (1983)



REFERENCES

Edwards, Archie. Telephone Interview. 15 September 1983.
Island County Assessor.