



**EBEY'S LANDING HISTORIC PRESERVATION COMMISSION**  
ISLAND COUNTY COMMISSIONERS' HEARING ROOM (Room 102B)  
1 NE 6<sup>th</sup> St., COUPEVILLE, WA  
June 8, 2023

**10:00: Roll Call**

**Approval of Minutes** – Minutes from May 25, 2023

**Public Comment on items not on the agenda**

**Public Hearings:**

**COA-23-025:** R13104-385-3710, W Terry Rd, Directly South of 102 SW Terry Rd., Coupeville School District – Construction of four tennis courts and associated fencing.

**COA-23-023:** S7205-00-00007-1, 1206 NE Moore Pl. Coupeville, Doug Cole – Construction of a new single-family residence.

**Other Discussion items:**

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The Historic Preservation Commission will hear testimony from interested persons either in person or via telephone or video. Written comments may be submitted comments to Planning & Community Development; 1 NE 7<sup>th</sup> St., Coupeville, WA 98239 for projects within the County (EBY). Projects within the Town (COA), submit written comments to Town of Coupeville, PO Box 725, Coupeville, WA 98239

Join Zoom Meeting <https://zoom.us/j/93757546931?pwd=bm1wTG13Rk14RGtjeUVsYksrclpROT09>: Meeting ID: 937 5754 6931 Passcode: 993018 Dial by your location +1 (253) 215-8782, Meeting ID: 937 5754 6931 Passcode: 993018

**EBEY'S LANDING HISTORIC PRESERVATION COMMISSION  
ISLAND COUNTY COMMISSIONERS' HEARING ROOM  
COUPEVILLE, WA  
May 25, 2023**

A recording of this meeting can be found on Coupeville's website: [townofcoupeville.org](http://townofcoupeville.org).  
Timestamps (*hr. m. s.*) for the beginning of each item and motion are designated in the minutes.

**CALL TO ORDER**

Chair Bronson called the meeting to order at 10:02 a.m.

**COMMISSION MEMBERS PRESENT**

- ✓ Chair **Marshall Bronson**
- ✓ Vice-Chair **Katherine Baxter**
- ✓ Commissioner **Jay Adams**
- ✓ Commissioner **Danielle Bishop**
- ✓ Commissioner **Art Huffine**
- ✓ Commissioner **Shelia Saul**
- ✓ Commissioner **Kevin Turkington**

**STAFF PRESENT**

- ✓ Ebey's Landing National Historical Reserve Manager **Marie Shimada**
- ✓ Ebey's Landing National Historical Reserve Preservation Coordinator **Josh Pitts**
- ✓ Island County Planning Director **Mary Engle**
- ✓ Island County Office Manager **Stephanie Montgomery**
- ✓ Island County Current Use Planner **Chloe Bonsen**
- ✓ Town of Coupeville Planning Director **Donna Keeler** (Virtual)
- ✓ Town of Coupeville Assistant Planner **Joshua Engelbrecht**

**APPROVAL OF AGENDA**

Commissioner Adams moved to approve the agenda for the May 25, 2023 Historic Preservation Commission meeting.

Vice-Chair Baxter seconded. *Motion passed unanimously.*

**APPROVAL OF MINUTES**

Commissioner Huffine moved to approve the minutes of the regular Historic Preservation Commission meeting of May 11, 2023.

Commissioner Turkington seconded. *Motion passed unanimously.*

**Public Comment on items not on the agenda**

*No members of the public spoke on items not on the agenda*

## **PUBLIC HEARING**

Chair Bronson provided a description of the role of the Commission, its legal basis and process, and the standards and guidelines on which its decisions are based. He asked commissioners to declare any conflicts of interest or bias regarding the applications on the agenda and to disclose any ex parte communications or site visits.

- Chair Bronson visited all sites.
- Commissioner Huffine visited all sites.
- Commissioner Saul visited all sites.
- Commissioner Turkington visited all sites.
  - Commissioner Turkington also participated in the advisory committee for the Ebey's Forever Grant which EBY-23-017 received money from.

*No public challenge to the participation of a commissioner was raised.*

### ***EBY-23-017 (5m. 55s.): R13109-149-1990, 1453 Hill Rd. Coupeville; Mary Engle – Restoration of the front porch.***

Island County Planner, Chloe Bosen, presented on elements of the porch remodel of 1453 Hill Rd. including the removal of an addition that enclosed a portion of the porch and window replacements.

Ebey's Landing National Historical Reserve Preservation Coordinator, Josh Pitts, made comments in regard to the Reserve's excitement to see additions removed from historic resources to bring the original architectural character back into view. He also mentioned that this project is receiving money from the Friend's of Ebey's Forever Grant program.

## ***DISCUSSION***

Chair Bronson opened the floor for discussion.

Questions were asked and answered in regard to the color of the farm house as it was in the past and the style of windows being proposed.

Comments were made in regard to the commission's excitement to see projects related to the iconic farm houses within the Reserve and the orientation of the porch to the farm fields, not the driveway or view.

The applicant, Mary Engle, spoke at the meeting. Comments were made in regard to the history of the house, the lack of photographs prior to the addition, and the desire for the house to be returned to its original architectural condition.

*No other members of the public spoke at the meeting.*

## ***MOTION (16 m. 0 s.)***

Commissioner Turkington moved to approve the Certificate of Appropriateness as presented and adopt the findings of fact as set forth presented in the application.

Commissioner Bishop seconded.

*Amended motion passed unanimously.*

***EBY-23-018 (17m. 14s.): R13230-188-2560, Madrona Way, Coupeville; Quenten & Linda Wehrman – New Single-Family Residence.***

Island County Planner, Chloe Bonsen, presented on elements of the proposed new single-family residence. Elements included the location of the project in relation to NW Madrona Way, the neighboring historic resource, and proposed materials. Proposed materials include cedar shingle siding, metal roof and darker greens and brown colors.

*Ebey's Landing National Historical Reserve Staff did not have any comments.*

***DISCUSSION***

Chair Bronson opened the floor for discussion.

Questions were asked and answered in regard to the roof style and various orientations of the proposed gable roof.

*The applicant did not speak at the meeting.*

*No other members of the public spoke at the meeting.*

***MOTION (23 m. 10 s.)***

Commissioner Saul moved to approve the Certificate of Appropriateness as presented and adopt the findings of fact as set forth presented in the application.

Commissioner Huffine seconded.

*Amended motion passed unanimously.*

***COA-23-018 (24 m. 45s.): R13233-134-3870, 80 N. Main Street Coupeville, Dane Kinney – Construction of a 10 ft. tall wood fence to conceal a diesel generator.***

Town of Coupeville Planner, Joshua Engelbrecht, presented on elements of the proposed cedar fence and diesel generator. Aspects of the project included an emergency diesel generator, 10 ft. tall cedar fence to screen the generator, and proposed (and existing) vegetation to screen the fence and generator site from view of the public right-of-way.

*Ebey's Landing National Historical Reserve Staff did not have any comments.*

***DISCUSSION***

Chair Bronson opened the floor for discussion.

*No comments were made, nor questions asked of Staff.*

*The applicant did not speak at the meeting.*

*No other members of the public spoke at the meeting.*

***MOTION (33 m. 50 s.)***

Commissioner Turkington moved to approve the Certificate of Appropriateness as presented and adopt the findings of fact as set forth presented in the application.

Commissioner Bishop seconded.

*Amended motion passed unanimously.*

**OTHER BUSINESS**

*No other business*

**ADJOURNMENT**

The meeting was adjourned at 10:35 am.

Respectfully submitted,

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Joshua Engelbrecht, Assistant Planner



**Ebey's Landing National Historical Reserve**  
**Certificate of Appropriateness**  
**Scott Losey, on Behalf of the Coupeville School District**  
**501 S. Main St., Coupeville, WA**  
**COA-23-025**

Level A or B (HPC review requested)

Level C

Jurisdiction:

Town of Coupeville

X

**I – PROJECT SUMMARY and BACKGROUND**

The applicant, Scott Losey, on behalf of the Coupeville School District requests a Certificate of Appropriateness for the installation of approximately 960 linear feet of a ten-foot (10') chain link fence at parcel No. R13104-385-3710 – generally west of the existing school's gymnasium and southwest of 204 SW Terry Rd. The proposal also includes a new parking area adjacent to the relocated tennis courts. The proposed parking lot consists of 16 parking stalls and is approximately 30 ft. south of the existing walking trail. The fence is proposed to be coated in black vinyl. Additional trees and vegetation are proposed to help reduce the visual impact of the fence and parking lot. Pursuant of CTC16.13, fences over six (6) feet in height require Certificate of Appropriateness review by the Historic Preservation Commission (HPC). The fence is required in order for the usage of the relocated tennis courts.

**II – PERMIT DATA**

<b>Building or Land Use Permit Type</b>	Certificate of Appropriateness
<b>Application Number</b>	COA-23-025
<b>Application Date</b>	5/9/2023
<b>Applicant/Owner</b>	Scott Losey, on behalf of the Coupeville School District

**III – SITE DATA**

<b>Address</b>	501 S. Main St.
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<b>Location</b>	South Coupeville, Corner of S. Main and SW. Terry Rd.			
<b>Parcel Number(s)</b>	R13104-385-3710			
<b>Size of parcel(s)</b>	4.37			
<b>Historic Structure?</b>	Yes		No	<b>X</b>
<b>Proximity to Historic Structures?</b>	Yes	<b>X</b>	No	
<b>Zoning Designation</b>	Town Public Quasi-public			
<b>Critical Areas/Overlays?</b>	Yes		No	<b>X</b>
<b>Shoreline Jurisdiction?</b>	Yes		No	<b>X</b>
<b>NPS Easements?</b>	Yes		No	<b>X</b>
<b>Heritage Farm Plan?</b>	<b>No</b>			



Figure 1: General project location

#### **IV – STAFF CONTACTS**

<b>Title</b>	<b>Name</b>	<b>Phone</b>	<b>E-mail</b>
Assistant Planner	Joshua Engelbrecht	360-678-4461 Ext 104	assistantplanner@townofcoupeville.org

**V. DISCUSSION**

This COA is part of a larger school district project to relocate the existing tennis courts and redesign bus lanes to improve traffic flow around the high school (Exhibit B).

**This COA is specifically to review the placement and appropriateness of the fence and new parking lot that supports the Tennis Court use (Exhibit A).**

Unfortunately, Coupeville Town Code section 16.13 (Ebey’s Landing Code) does not dictate which level of review an outdoor institutional recreation facility (Tennis Courts) or traffic reconfigurations should be considered. Those aspects of the project most closely align with “public park improvements” which are categorically exempt as well as “replacement of driveways associated with non-historic buildings” which are also categorically exempt from the COA process.

As such, only the 10 ft. tall fence and new parking lot falls within the Town’s code section that requires review by the Historic Preservation Commission. The newly proposed parking area also does not have specific code language that dictates what level of review is required. Because it is directly adjacent to the proposed fence and because there are Design Guidelines surrounding parking lots, that aspect of the overarching project is also under Historic Preservation Commission Review.

The Certificate of Appropriateness is to approve approximately 960 feet of a ten foot (10’) high black vinyl chain link fence. The fence encloses new tennis courts for use by the middle and high school. The proposed fenced area is approximately 90 feet from the northern property line (NW Terry Rd.) and 55 feet from the western and southern property lines. Additionally, the application includes the construction of a parking facility adjacent to the Tennis Courts (16 parking stalls).

The application was discussed by the Historic Reserve Committee (HRC) on May 16 and May 30, 2023.

**VI. SECRETARY OF THE INTERIOR’S STANDARDS & CONSISTENCY ANALYSIS**

<b>The Secretary of the Interior’s Standards apply:</b>	Yes		No	X
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Application is within 100 ft. of the Frain/Engle House. The School District Property and the Frain/Engle House are screened from each other by a hedgerow along the common property line. While no other historic resources are within 100 ft. of the project site. Prairie Center Mercantile, the Will Jenne House, and a conservation easement for parcel No. R13104-287-2760 are adjacent to the property.



## **DESIGN GUIDELINES**

Staff has identified the following design guidelines as particularly relevant to the proposal.

### **CHAPTER 4.10 – FENCES**

**Guiding Principles:** Historically, many Coupeville homes had picket fences. While these are less common today, wood is still the most appropriate fencing material for retaining the historic character of the town. On the prairies and in woodlands, however, openness is most important to retaining the Reserve’s rural character and appropriate open fencing should be used.

<b>Guideline</b>	<b>Staff Analysis</b>
4.10.2.1	<i>The fence is set back approximately 90 ft. from SW Terry Rd. and over 55 ft. from any of the side or rear property lines</i>
4.10.2.2	<i>The site is within the Town of Coupeville. From ground level, the fence does not block views across the landscape. The south and west property lines are already vegetated.</i>
4.10.2.3	<i>The fence is constructed chain link coated in black vinyl.</i>
4.10.2.4	<i>A hedgerow was not considered as an alternative to the proposed fence, which is a necessary feature for tennis courts. .</i>
4.10.2.5	<i>The fence is chain link coated in black vinyl. The applicant is proposing tree plantings and other vegetation to screen the fencing from SW Terry Rd.</i>  <i>The applicant indicated to Town Staff that Chain Link is the only fencing type that meets recreation and safety standards for the school district’s project.</i>
4.10.2.6	<i>The fence is not constructed of concrete.</i>

## CHAPTER 4.11 – PARKING AND DRIVEWAYS

**Guiding Principle:** Parking should be designed to reduce visual and other impacts and to be as unobtrusive as possible. Driveways should be designed and located to be as unobtrusive as possible and to enhance pedestrian safety.

<b>Guideline</b>	<b>Staff Analysis</b>
4.11.2.1	<i>The proposed parking lot is approximately 28 ft. from the Terry Rd. walking path. The applicant has proposed tree plantings to screen the parking lot from view of the Right-of-way.</i>
4.11.2.2	<i>Tree plantings are proposed along SW Terry Rd. to screen the project from the north.</i>
4.11.2.3	<i>The school district properties along Terry Rd. are generally opposed by Town Commercial zoning. The parking lot is not directly adjacent to any residential properties. Vegetation to the west and south screen the project site from contiguous, residentially zoned, properties.</i>
4.11.2.4	<i>The proposed parking lot is not within the front setback of the parcel. Regardless, the parking area will be buffered from the existing walking trail by plantings and grass.</i>
4.11.2.5 – 4.11.2.6	<i>The proposed car park contains 16 parking stalls. There are no existing large trees in the area nor are any divisions or this parking lot proposed.</i>  <i>The applicant has not indicated if other uses would be allowed to use the space as parking.</i>
4.11.2.7	<i>The property does not contain a historic residential structure.</i>
4.11.3.8	<i>No alternative paving materials were proposed.</i>
4.11.3.9	<i>The proposed parking lot is accessed via an existing curb cut in SW Terry Rd.</i>

## **VII. RECOMMENDED MOTION**

Based on the record developed to date, including application materials, staff report, evidence presented, and comments made at the public meeting, and finding application to COA-23-025 to be consistent with the Ebey's Landing National Historic Reserve Design Guidelines, I move to recommend granting a Certificate of Appropriateness with the following conditions:

1. Any future School District plans to expand parking facilities shall be required to provide electric vehicle infrastructure for ten (10) percent of the parking spaces pursuant of Coupeville Town Code.
2. The proposed landscaping and existing hedgerow be maintained in perpetuity.
3. Any proposed lighting complies with lighting design standards in Chapter 4.9.1 including using downward directional lighting and screening light fixtures so that the light source is not visible off-site.

## **VIII. FINDINGS OF FACT AND CONCLUSIONS OF LAW**

Based on the analysis presented above, staff proposes the following findings of fact with respect to Application No. COA-23-025:

1. An application was submitted for a Certificate of Appropriateness on May 9, 2023 for the installation of a 10 foot tall chain link fence located at 501 S. Main St.
2. The site is within Review Area 1 of Ebey's Landing National Historical Reserve and is classified as construction of a fence over six (6) feet in height requiring action on a Certificate of Appropriateness by the Historic Preservation Commission.
3. On May 30, 2023, the Ebey's Historic Reserve Committee reviewed the proposal and found that it complied with all relevant Ebey's Landing National Historic Reserve Design Guidelines.
4. In accordance with Chapter 16.13 of the Coupeville Town Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on June 8, 2023, and all wishing to be heard were heard.
5. In accordance with Guidelines in Chapter 4.10 the fence is constructed of easy to see through materials and is set back from the road. Although the guidelines call out chain-link fencing as inappropriate in locations visible from the road, there is no other reasonable substitute that allows for the use of the proposed tennis courts.
6. After review of the proposed application and consideration of public comment and staff's recommendation, the Historic Preservation Commission finds the application consistent with the applicable Ebey's Landing National Historical Reserve Design Guidelines as conditioned.

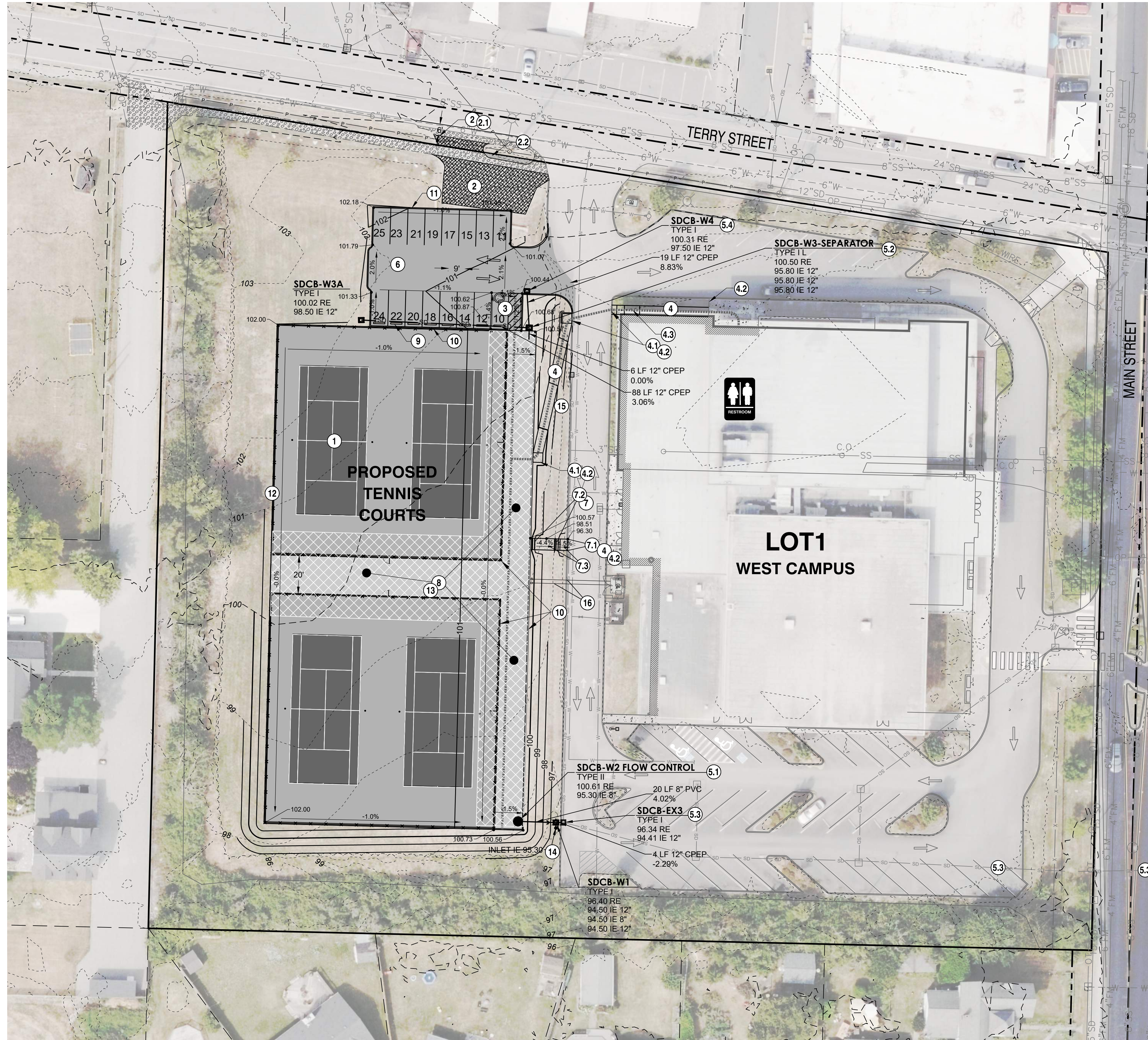
## **IX. APPEAL PROCESS**

A decision to approve, conditionally approve, or deny a Certificate of Appropriateness may be appealed as an administrative determination, together with the associated permit, in conformance with the appeal procedures set forth in Coupeville Town Code Chapter 2.52 and Sections 16.06.060 and 16.13.080.

# Exhibit A

Tennis court and parking lot site plan  
Landscaping plan

SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.



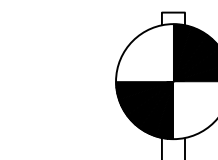
TENNIS COURT AND PARKING IMPROVEMENTS:

- 1 4 TENNIS COURTS PER BENYON SPORTS DESIGN, DIMENSIONS AND DETAILS.
- 2 RECLAIM APPROX 1,300 SF GRAVEL PARKING AND ACCESS TO VEGETATED COVER. CAMPUS PARKING TALLIES ON COVER SHEET. DECOMMISSION GRAVEL ACCESS POINT.
- 2.1 LEAVE GRAVEL TRAIL AS-IS. REMOVE/RECLAIM APPROX 130 SF GRAVEL ACCESS POINT: FROM 6FT LATERAL FROM EDGE OF TERRY ROAD PAVEMENT TO ROW LINE/EDGE OF TRAIL. REPLACE TOP 6" OF MATERIAL WITH TOPSOIL AND VEGETATE WITH EROSION CONTROL GRASSES.
- 2.2 EXTEND/CONTINUE TRAIL PER TOWN DETAIL L1-11 SHEET C3.0
- 3 ADA VAN STALL PER ANSI 117.1. INCLUDING ADJACENT WALKWAY, ADA-VAN STALL SHALL BE NOT LESS THAN 16' WIDE X 16' LONG. AS SHOWN, 16'W X 19'L. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
- 4 CONCRETE ADA SIDEWALK PER SECTION A SHEET C3.0. 5' WIDE, NOT TO EXCEED 5% RUNNING GRADE.
  - 4.1 ADA LANDING, 5' x 5', DESIGN SLOPE 1.5%.
  - 4.2 MATCH SURFACE AT EXISTING CONCRETE OR PAVEMENT.
  - 4.3 RAMP: THIS SEGMENT MAY BE GRADED AS A RAMP IF NECESSARY, NOT TO EXCEED 8.3% RUNNING GRADE OR 15 FT IN LENGTH.
- 5 STORM DRAINAGE PER 2019 DOE PER TOWN OF COUPEVILLE. INFILTRATION AND DISPERSION ARE UNAVAILABLE. UNDER COURT DETENTION VIA GRAVEL OR MESH-SIDED CHAMBERS.
  - 5.1 RESTRICTED RELEASE OF STORMWATER VIA FLOW CONTROL STRUCTURE TO EXISTING STORM SYSTEM. RETRACTOR PER DETAIL D SHEET C3.0. USE LOCKING, SOLID GRATE.
  - 5.2 WSDOT TYPE 1L CB WITH FLOATABLE SEPARATOR PER DETAIL E SHEET C3.0. CONNECT TO UNDER-COURT DETENTION. USE LOCKING, SOLID GRATE.
  - 5.3 EXISTING STORM SYSTEM FLOWS VIA PIPE ACROSS MAIN STREET AND ENTERS THE SCHOOL'S EXISTING STORMWATER QUALITY AND DETENTION POND.
  - 5.4 CATCH BASINS WSDOT TYPE 1 OR TYPE 1L AS NOTED WITH LOCKING, HERRING BONE GRATES, OTHERWISE PER WSDOT DETAILS B-5.20-02 OR B-5.40-02 RESPECTIVELY, SHEET C3.1.
- 6 6 PARKING STALLS ARE RELOCATED/REASSIGNED FROM 6 EXISTING BUS AREA STALLS THAT ARE TO BE REMOVED WITH NO IMPACT TO TOTAL PARKING TALLY. A TOTAL OF 20 NEW STALLS WILL BE ADDED TO THE CAMPUS PARKING CAPACITY. STALLS ARE STANDARD DIMENSION OF 9' x 19' WITH 24' WIDE DRIVE AISLE.
- 7 6' WIDE STAIRS WITH RAILING EACH SIDE, PER ANSI 117.1 504 AND 505. TWO SETS OF STEPS, 7 STEPS TOTAL, INCLUDING THE TENNIS COURT SURFACE.
  - 7.1 SAW CUT AND DEMO APPROX 6FT OF CURB, BEVEL SURVIVING CURB ENDS.
  - 7.2 SUGGESTED 12" TREADS WITH 7" RISERS, SLOPED 0.5% Laterally FOR POSITIVE DRAINAGE.
  - 7.3 "LANDINGS" NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE. AS SHOWN, 4.5% RUNNING SLOPE AND 1.5% CROSS SLOPE, FIELD VERIFY LANDING AND STEPS BEFORE PLACING CONCRETE.
- 8 BURIED STORMWATER STORAGE (NO INFILTRATION VALUE OR CAPACITY). 6,760 SF FLOOR BY 2.7' RISER DEPTH/LIVE STORAGE VIA CRATES/OPEN SIDED CHAMBERS, RISER HEIGHT 2.7', 0.298 AC-FT, LIVE STORAGE, HS-20 LOADING. INSTALL CRATES PER MANUFACTURER'S INSTRUCTIONS. COORDINATE MFG VOLUMES AND DIMENSIONS WITH DESIGN ENGINEER. ALTERNATIVELY SIZED AS SHOWN FOR UP TO 4FT OF CLEAN DRAIN ROCK AND 11,300 SF FLOOR, NON-INFILTRATING. STORMBRIXX MESH SIDED CHAMBERS SHOWN.
  - DIFFERENT STORAGE DEPTH WILL REQUIRE DIFFERENT CONTROL STRUCTURE RESTRICTOR SIZING. COORDINATE WITH DESIGN ENGINEER.
  - MESH SIDED/TOPPED CHAMBERS ARE ANTICIPATED PER THIS DESIGN.
  - SOLID SIDED CHAMBERS WILL REQUIRE ADDITIONAL STORM INLET DESIGN.
  - STORM PIPE CONNECTION TO CHAMBERS PER MFG INSTRUCTIONS.
- 9 PLACE WHEEL STOPS PER DETAIL 4 SHEET C2.2 TO PROTECT FENCING.
- 10 CURB: TENNIS COURT AND POROUS CONCRETE BORDER/CURB: FLUSH WITH FINISHED GRADE, 12" WIDE TOP IN FENCE POST AREAS, 6" WIDE TOP IN NON FENCE AREAS. OTHERWISE PER CEMENT CONCRETE PEDESTRIAN CURB PER WSDOT F-10.12-04 SHEET C3.0.
- 11 CURB: PARKING LOT CURB, WEST, NORTH AND ENTRY EDGES: 6" CEMENT CONCRETE TRAFFIC CURB PER WSDOT F-10.12-04 SHEET C3.0.
- 12 COORDINATE ALL TENNIS COURT FENCE POST INSTALLATION WITH BENYON SPORTS PRIOR TO CONCRETE CURB FORMING AND PLACING.
- 13 POROUS CONCRETE SPECTATOR AREA (NOT PLAYABLE SURFACES) PER DETAIL C SHEET C3.0 AND POROUS CONCRETE NOTES PER NOTES C2.2.
- 14 REMOVE/REPLACE CULVERT INTO CB W1. BEVEL PIPE END TO MATCH GRADE. REGRADE CULVERT CATCH AS NECESSARY.
- 15 FILL DITCH WITH TOPSOIL AND SEED PER SWPPP.
- 16 PLACE 2, 1" PVC SCH 40 CONDUIT FROM TRANSFORMER TO EDGE OF PROPOSED TENNIS COURT. TERMINATE AT COURT WITH HDPE RISERS WITH LIDS.

ADA SLOPE CAUTION:

1. NEW ADA-VAN PARKING STALLS MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION (16'W X 16'L).
2. CROSS SLOPE: CROSS SLOPES SHALL DRAIN POSITIVELY AND MUST NOT EXCEED 2%.
3. RUNNING SLOPE, NON RAMPS: EXCEPT FOR ADA ROUTE SEGMENTS MARKED AS RAMPS, NEW WALKWAYS MUST NOT EXCEED 5% IN LONGITUDINAL SLOPE.
4. RUNNING SLOPE RAMPS: SEE NOTES AS INDICATED IN THE PLANS.
5. THE TOWN INSPECTOR WILL REJECT CONCRETE SEGMENTS EXCEEDING THESE LIMITS.
6. WE ENCOURAGE FORMS TO BE CHECKED BY THE PROJECT ENGINEER FOR ADA COMPLIANCE PRIOR TO PLACING CONCRETE AS FIELD CONDITIONS CHANGE SLIGHTLY AS COMPARED TO APPROVED PLANS.

LINE MEASURES 1" AT FULL SIZE PLOT  
IF SHEET SCALE IS OFF, ADJUST SCALE SO THIS LINE EQUALS 1"



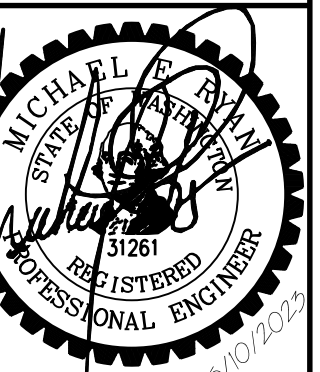
VERTICAL DATUM:  
NAVD 88  
DERIVED FROM GPS OBSERVATIONS  
HORIZONTAL DATUM:  
WA COORDINATE SYSTEM NAD 83  
GRID NORTH



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COUPEVILLE SCHOOL DISTRICT #204  
TENNIS COURT RELOCATION & PARKING IMPROVEMENT  
CONSTRUCTION  
WEST CAMPUS TENNIS COURT & PARKING

DATE:

05/10/2023

JOB #:

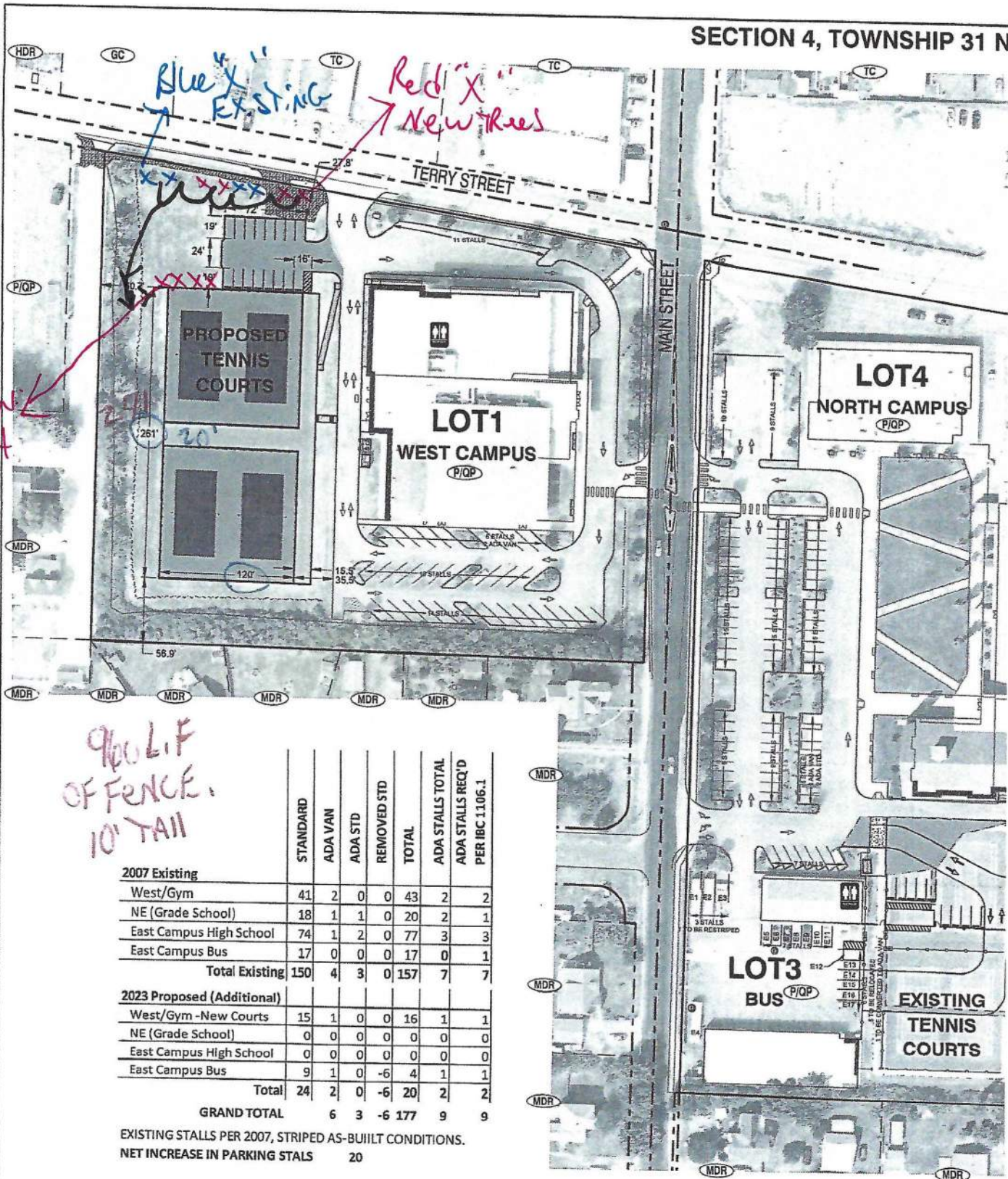
22-452



Know what's below.  
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C2.0

SECTION 4, TOWNSHIP 31 N



QUALIF OF FENCE, 10' TALL

	STANDARD	ADA VAN	ADA STD	REMOVED STD	TOTAL	ADA STALLS TOTAL	ADA STALLS REQ'D PER IBC 1106.1
<b>2007 Existing</b>							
West/Gym	41	2	0	0	43	2	2
NE (Grade School)	18	1	1	0	20	2	1
East Campus High School	74	1	2	0	77	3	3
East Campus Bus	17	0	0	0	17	0	1
<b>Total Existing</b>	<b>150</b>	<b>4</b>	<b>3</b>	<b>0</b>	<b>157</b>	<b>7</b>	<b>7</b>
<b>2023 Proposed (Additional)</b>							
West/Gym -New Courts	15	1	0	0	16	1	1
NE (Grade School)	0	0	0	0	0	0	0
East Campus High School	0	0	0	0	0	0	0
East Campus Bus	9	1	0	-6	4	1	1
<b>Total</b>	<b>24</b>	<b>2</b>	<b>0</b>	<b>-6</b>	<b>20</b>	<b>2</b>	<b>2</b>
<b>GRAND TOTAL</b>	<b>6</b>	<b>3</b>	<b>-6</b>	<b>177</b>	<b>9</b>	<b>9</b>	<b>9</b>

EXISTING STALLS PER 2007, STRIPED AS-BUILT CONDITIONS.  
NET INCREASE IN PARKING STALLS 20

**LAND USE DESIGNATIONS**

FOR ALL THE LOTS WITHIN 50 FT OF THE SUBJECT SITE, THE EXISTING LAND USE DESIGNATIONS PER FIGURE 4 OF THE TOWN OF COUPEVILLE COMPREHENSIVE PLAN LAND USE DESIGNATIONS ARE:

- (P/QP) PUBLIC/QUASI-PUBLIC (ALL CAMPUS PARCELS)
- (MDR) MEDIUM DENSITY RESIDENTIAL
- (HDR) HIGH DENSITY RESIDENTIAL
- (TC) TOWN COMMERCIAL
- (GC) GENERAL COMMERCIAL
- (SLND) ISLAND COUNTY

THIS PROJECT PROPOSES NO CHANGES IN LAND USE DESIGNATIONS.

**SURVEY NOTE:**

- FIELD SURVEY CONDUCTED AS REPORTED ON TOPOGRAPHIC SURVEY SHEETS AND AS INCORPORATED INTO THE BACKGROUND GRAPHICS FOR DESIGN.
- ADDITIONAL DATA SHOWN HAS BEEN RECOVERED FROM LEGACY DRAWINGS USED FOR THE 2007 SCHOOL IMPROVEMENTS AND IS ALSO SHOWN AS BACKGROUND. LEGACY GRAPHICS HAVE NOT BEEN VERIFIED OR AS-BUILT FOR THIS PROJECT.
- 2014 DIGITAL ORTHO PHOTOGRAPHS ARE ALSO USED AS BACKGROUND DATA.

**PARKING STALL DIMENSIONS:**

- STANDARD STALLS: 9' x 19' PER TOWN. NO COMPACT STALLS ARE PROPOSED.
- PARALLEL PARKING STALL: 8'W x 22'L PER TOWN.
- ADA VAN STALL WITH ADJACENT WALKWAY IS 16' x 16' MIN PER ANSII 117.1, 16'W x 19'L AS SHOWN INCLUDING 5'W STRIPED WALKWAY. STRIPE AND SIGN PER ANSII 117.1.

**DRAW**

- C0.0 CI
- C1.0 TE
- C1.1 TE
- C2.0 W
- C2.1 SI
- C2.2 ST
- C3.0 DE
- C3.1 DE
- S-1.0 TR
- S-2.0 TC

# Exhibit B

COA Application and full project site plan



**Ebey's Landing National Historical Reserve  
Certificate of Appropriateness Application**

**REVIEWED TO THE EBHEY'S LANDING HISTORICAL RESERVE DESIGN GUIDELINES BY ISLAND COUNTY (Island County Code 17.04A) AND THE TOWN OF COUPEVILLE (Coupeville Town Code Chapter 16.13) IN COOPERATION WITH THE TRUST BOARD OF EBHEY'S LANDING NATIONAL HISTORICAL RESERVE AND THE HISTORIC PRESERVATION COMMISSION**

I, the undersigned, do hereby respectfully make application for your review of my request concerning the property described below:

1. **Applicant(s) (main contact person):** *Agent for owner must complete the authorization on page 4*  
Coupeville School District  
Scott Losey, Maintenance Supervisor  
**Address:** 501 S Main St., Coupeville, WA 98239  
**Phone:** 360-632-2502      **E-mail:** slosey@coupeville.k12.wa.us
2. **Property Owner(s):**  
Coupeville School District  
Scott Losey, Maintenance Supervisor  
**Address:** 501 S Main St., Coupeville, WA 98239  
**Phone:** 360-632-2502      **E-mail:** slosey@coupeville.k12.wa.us
3. **Address of Subject Property:**  
501 S Main St., Coupeville, WA 98239
4. **Assessor's Parcel Number:**  
Four: R13104-385-3710, R3104-369-4440, R13104-351-4170, R13104-404-4300
5. **Zone:** Public

**Present Use of Property (check all that apply):**

Residential	<input type="checkbox"/>	Agricultural	<input type="checkbox"/>	Other	<input type="checkbox"/>
Commercial	<input type="checkbox"/>	Institutional	<input checked="" type="checkbox"/>		



**DESCRIPTION OF PROPOSED WORK:**

The School District desires to improve their school bus facility to include drive-through bus lanes into/out of their bus barn and add an office space (modular building) for their bus operation staff. To accomodate, the four, existing tennis courts adjacent to the existing bus facility is to be repurposed for the modular building and bus lanes, and four new tennis courts are proopsed to be installed in the existing soccer field west of the high school gym. In all, 20 new parking stalls will be created with provisions for ADA-Van as well.

*Note: Please refer to the checklist on page 3 of this application for required submittal materials*

**Existing & Proposed Materials:** Type n/a if not applicable

Doors: (existing) <u>EXISTING</u>	(proposed) <u>Office doors, Thermal, wood or metal</u>
Windows: <u>EXISTING</u>	<u>Office windows, Thermal</u>
Deck/Railing: <u>EXISTING</u>	<u>manufactured metal, ADA compliant</u>
Stairs/Ramp: <u>EXISTING</u>	<u>manufactured metal, ADA compliant</u>
Siding: <u>EXISTING</u>	<u>wood</u>
Roofing: <u>EXISTING</u>	<u>comp</u>
Fence: <u>EXISTING</u>	<u>black chain link</u>

Type Y or N

- Does the proposed project involve a Historic Building?  Yes  No
- Is the property within 100 feet of a historic building?  Yes  No
- Is there a Conservation Easement on the property?  Yes  No

*If yes, please include easement information with application packet*

**Applicant's Acknowledgment**

I am familiar with the Ebey's Reserve Design Guidelines as they pertain to my project. I certify by my signature below that the information in this application is accurate and complete. Planning staff has permission to copy materials, including architectural drawings, necessary for the review of my application.



Date 5/9/23

Applicant's Signature

**Typically, applications require the following information**

*For projects that are not complex, feel free to ask if the standard submittal requirements are necessary.*

- Clear color photographs of the building, overall site, nearby structures, and any adjacent properties.
- A complete description of the intended work.
- A scaled site plan depicting existing and proposed structures and improvements; including significant trees, tree planting, vegetative buffering, and landscaping. Include driveways and nearby roads for context and an "N" (north) arrow.
- Scaled design elevations of new structures or improvements, alterations, and additions. (Show both existing and proposed).
- Samples of construction materials (when requested). For historic buildings, submit new material samples for comparison with the existing or the original building materials.
- Any supplemental information deemed necessary and requested by the County or Town for review of the application (this usually relates to complex or large-scale projects.)
- Agent Authorization Form (page 4 if needed)
- Applicable Planning & Review Fees
  - *Level A applications; please provide original signed application and 1 copy*
  - *Level B applications; please provide original plus 3 copies*
  - *Level C applications; please provide original plus color 14 copies*

*Review fees are generally \$50 for Level A; \$100 for Level B; \$150 for Level C (check with staff to confirm appropriate application fee)*

**FOR STAFF USE ONLY**

**Review Authority - based upon the application description and project location within the Reserve**

Staff: \_\_\_\_\_ Level A

HRC: \_\_\_\_\_ Level B

HPC decision: \_\_\_\_\_ Level C

HPC recommendation: \_\_\_\_\_ Level D

Land Use \_\_\_\_\_ Construction \_\_\_\_\_

**ADDITIONAL NOTES:**

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## Agent Authorization Form

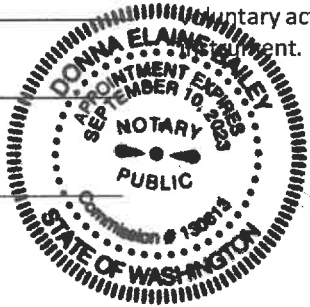
I, Steve King, the owner(s) of the subject property, understand that by completing this form I hereby authorize Scott Casey to act as my agent. I understand that said agent will be authorized to submit applications on my behalf. I also understand that once an application has been submitted that all future correspondence will be directed to said agent.

1) Steve King  
 \_\_\_\_\_  
 Property Owner Name(s) (print)  
[Signature]  
 \_\_\_\_\_  
 Signature(s)

State of Washington )  
 County of Island )

I certify that I know or have satisfactory evidence that Steve King signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

2) \_\_\_\_\_  
 Property Owner Name(s) (print)  
 \_\_\_\_\_  
 Signature(s)  
5/9/23  
 \_\_\_\_\_  
 Date



Dated May 9, 2023  
 Signature of [Signature]  
 Notary Public  
 Printed Name Donna Bailey  
 Residing at Coupeville, WA  
 My appointment expires 9/10/2023

1) \_\_\_\_\_  
 Property Owner Name(s) (print)  
 \_\_\_\_\_  
 Signature(s)

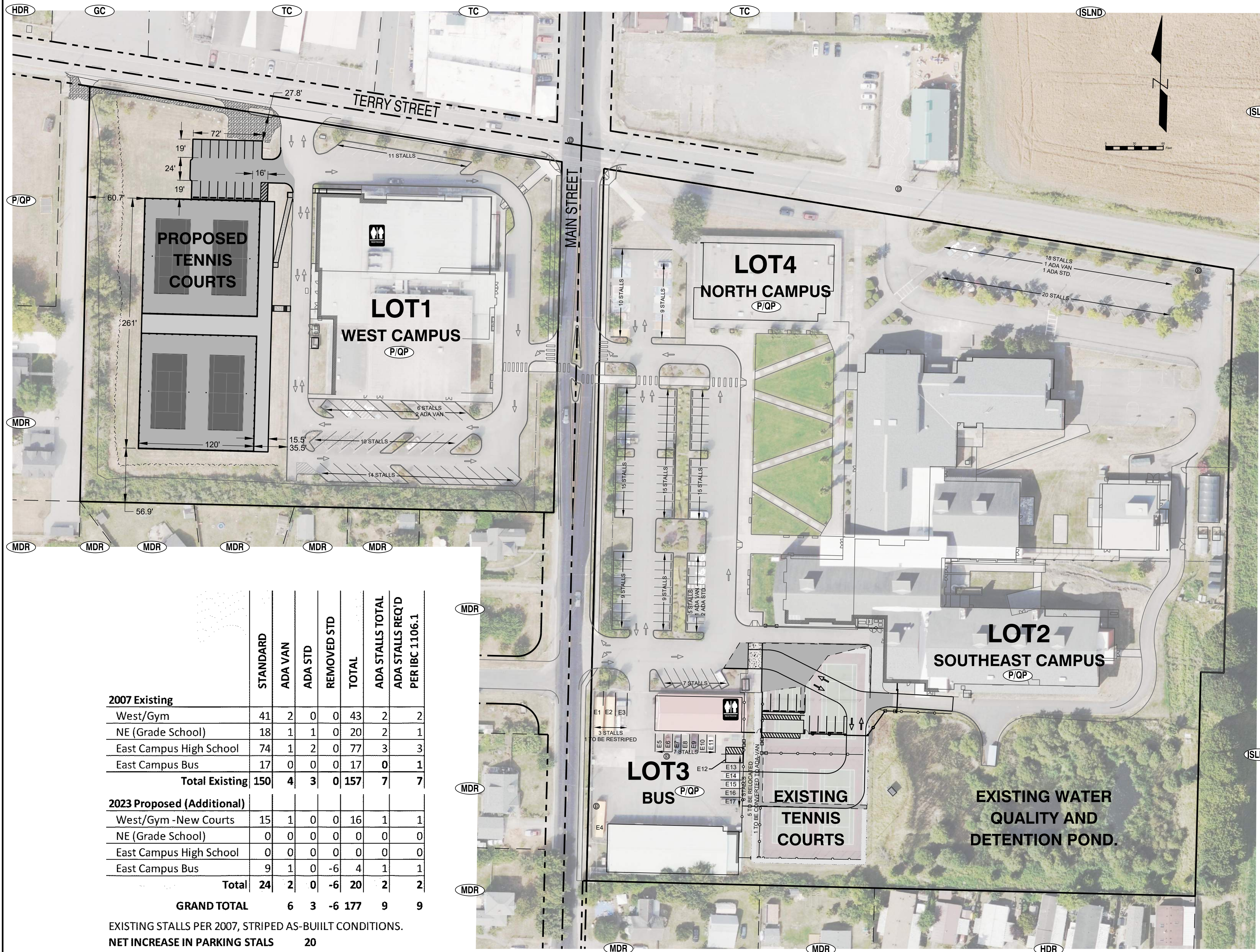
2) \_\_\_\_\_  
 Property Owner Name(s) (print)  
 \_\_\_\_\_  
 Signature(s)  
 \_\_\_\_\_  
 Date

State of Washington )  
 County of \_\_\_\_\_ )

I certify that I know or have satisfactory evidence that \_\_\_\_\_ signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

Dated \_\_\_\_\_  
 Signature of \_\_\_\_\_  
 Notary Public \_\_\_\_\_  
 Printed Name \_\_\_\_\_  
 Residing at \_\_\_\_\_  
 My appointment expires \_\_\_\_\_

SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.



VICINITY MAP  
NOT TO SCALE

**GEOTECH:**  
GEOTEST SERVICES, INC  
EDUARDO GARCIA, PE  
741 MARINE DRIVE,  
BELLINGHAM, WA 98225 20611  
360.441.3402  
EDG@GEOTEST-INC.COM

**OWNER/APPLICANT:**  
COUPEVILLE SCHOOL DISTRICT #204  
SCOTT LOSEY  
MAINTENANCE SUPERVISOR  
501 S MAIN ST  
COUPEVILLE, WA 98239  
SLOSEY@COUPEVILLE.K12.WA.US

**ENGINEER & SURVEYOR**  
HARMSEN, LLC  
MICHAEL E. RYAN, PE  
840 SE 8TH AVENUE  
OAK HARBOR, WA 98277  
(360) 675-5973  
MICHAELR@HARMSENLLC.COM

**TENNIS COURTS:**  
BENYON SPORTS  
REED McNEIL  
NW SALES MANAGER  
19600 SW 129TH AVENUE, SUITE A  
TUALATIN, OR 97062  
5063.563.6401  
RMcNEIL@BENYONSPORTS.COM

**SITE INFORMATION:**

ADDRESS: S MAIN STREET

PARCEL NO.	LOT 1 (WEST)	LOT 2 (SE CAMPUS)	LOT3 (BUS)	LOT4 (NORTH CAMPUS)
	R13104-385-3710	R13104-369-4440	R13104-351-4170	R13104-404-4300
LEGAL ACRES	3.85	5.98	1.09	3.87
GIS ACRES	4.37	5.52	1.06	3.88

**LEGAL DESCRIPTIONS:--**  
 LOT1: 109 ALEX DC - BG 262.9'N & 20'W OF SWCR COUPE DC S374' W495' N440' ELY ALG S LN HWY TPB EX S59.95' TPB EX PT TO TOWN OF COUPEVILLE AF#4218624X  
 LOT 2: 5.6 & 7 J CROCKETT DC: BG NECR J P ENGLE TR V7 P161-2 E414' S211' W414' N211' TPB EX: BG PT 684'E OF NWCR J CROCKETT DC S211' E24' N211' W24' TPB TGW: BG SWCR ALVA WANAMAKER TR V10 P618-19 S4 RODS (66') E40 RODS (66') W40 RODS (66') W40 RODS (66') TPB TGW: BG SW  
 LOT3: 3 J CROCKETT DC - BG @ PT 258.48'S & 24'E OF NW CR J CROCKETT DC 244' S185.52' W24' N185.52' TPB  
 LOT 4: 94 COUPE DC: ONE SQUARE AC LY SWCR COUPE DC BG CR POST SWCR SD COUPE DC EX CO RD TGW: BG PT 116'N FR NWCR OF ONE ACRE LOT S116' E209' N87' NWLY TPB EX CO RD TGW: BG SECR COUPE TR V3/P320 E260' N4'E234' N80'W TP N NECR SCHOOL LOT S TPB EX CO RD TGW: BG PT

- NOTES:**  
 1. THESE LOTS MAY HAVE OTHER LEGITIMATE LEGAL DESCRIPTIONS.  
 2. WORK IS PROPOSED ON LOTS 1, 2 & 3 ONLY.

**WATER & SEWER:** TOWN OF COUPEVILLE  
**FIRE:** CENTRAL WHIDBEY FIRE AND RESCUE DIST 3  
**ZONE:** PUBLIC/QUASI PUBLIC  
**SETBACKS:** NO STREET, SIDE OR REAR SETBACKS LISTED PER CTC 16.12.030

**EARTHWORK:**  
 CALCUTATED WITH AUTODESK CIVIL3D.  
 CUT: 300 CY  
 FILL: 2,600 CY

VERTICAL DATUM:  
NAVD 88  
DERIVED FROM GPS OBSERVATIONS  
HORIZONTAL DATUM:  
WA COORDINATE SYSTEM NAD 83  
GRID NORTH



	STANDARD	ADA VAN	ADA STD	REMOVED STD	TOTAL	ADA STALLS TOTAL	ADA STALLS REQ'D PER IBC 1106.1
<b>2007 Existing</b>							
West/Gym	41	2	0	0	43	2	2
NE (Grade School)	18	1	1	0	20	2	1
East Campus High School	74	1	2	0	77	3	3
East Campus Bus	17	0	0	0	17	0	1
<b>Total Existing</b>	<b>150</b>	<b>4</b>	<b>3</b>	<b>0</b>	<b>157</b>	<b>7</b>	<b>7</b>
<b>2023 Proposed (Additional)</b>							
West/Gym -New Courts	15	1	0	0	16	1	1
NE (Grade School)	0	0	0	0	0	0	0
East Campus High School	0	0	0	0	0	0	0
East Campus Bus	9	1	0	-6	4	1	1
<b>Total</b>	<b>24</b>	<b>2</b>	<b>0</b>	<b>-6</b>	<b>20</b>	<b>2</b>	<b>2</b>
<b>GRAND TOTAL</b>	<b>6</b>	<b>3</b>	<b>-6</b>	<b>177</b>	<b>9</b>	<b>9</b>	<b>9</b>

EXISTING STALLS PER 2007, STRIPED AS-BUILT CONDITIONS.  
**NET INCREASE IN PARKING STALS 20**

**LAND USE DESIGNATIONS**

FOR ALL THE LOTS WITHIN 50 FT OF THE SUBJECT SITE, THE EXISTING LAND USE DESIGNATIONS PER FIGURE 4 OF THE TOWN OF COUPEVILLE COMPREHENSIVE PLAN LAND USE DESIGNATIONS ARE:

- (P/QP) PUBLIC/QUASI-PUBLIC (ALL CAMPUS PARCELS)
- (MDR) MEDIUM DENSITY RESIDENTIAL
- (HDR) HIGH DENSITY RESIDENTIAL
- (TC) TOWN COMMERCIAL
- (GC) GENERAL COMMERCIAL
- (ISLND) ISLAND COUNTY

THIS PROJECT PROPOSES NO CHANGES IN LAND USE DESIGNATIONS.

**SURVEY NOTE:**

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**DRAWING INDEX**

- C0.0 COVER
- C1.0 TESC & DEMO
- C1.1 TESC NOTES
- C2.0 WEST CAMPUS TENNIS COURTS AND PARKING
- C2.1 SOUTHEAST CAMPUS PARKING AND MODULAR
- C2.2 STANDARD NOTES
- C3.0 DETAILS
- C3.1 DETAILS
- S-1.0 TOPOGRAPHIC SURVEY (WEST CAMPUS)
- S-2.0 TOPOGRAPHIC SURVEY (SE CAMUPS)

**PROJECT NARRATIVE:**

REPURPOSE THE EXISTING TENNIS COURTS WITH A DRIVE AISLE AND PARKING, AND SITE A MODULAR BUILDING.

CREATE FOUR NEW TENNIS COURTS WEST OF THE GYM WITH ADDITIONAL PARKING.

**LEGEND:**

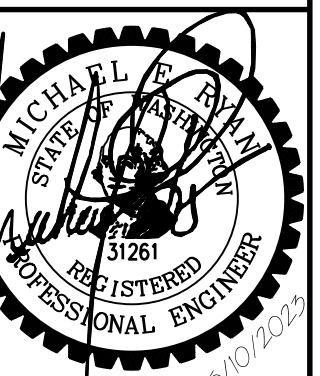
PLEASE SEE S-1.0 TOPOGRAPHIC SURVEY

LINE MEASURES 1" AT FULL SIZE PLOT  
 IF SHEET SCALE IS OFF, ADJUST SCALE SO THIS LINE EQUALS 1"

REVISIONS

ENGINEERS SURVEYORS

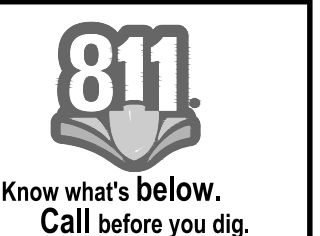
HARMSEN



COUPEVILLE SCHOOL DISTRICT #204  
 TENNIS COURT RELOCATION & PARKING IMPROVEMENT  
 CONSTRUCTION COVER SHEET

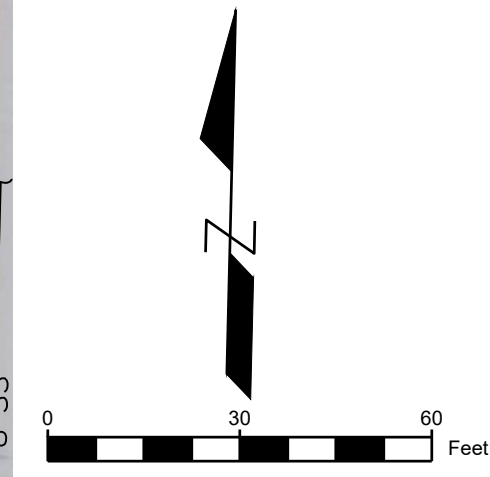
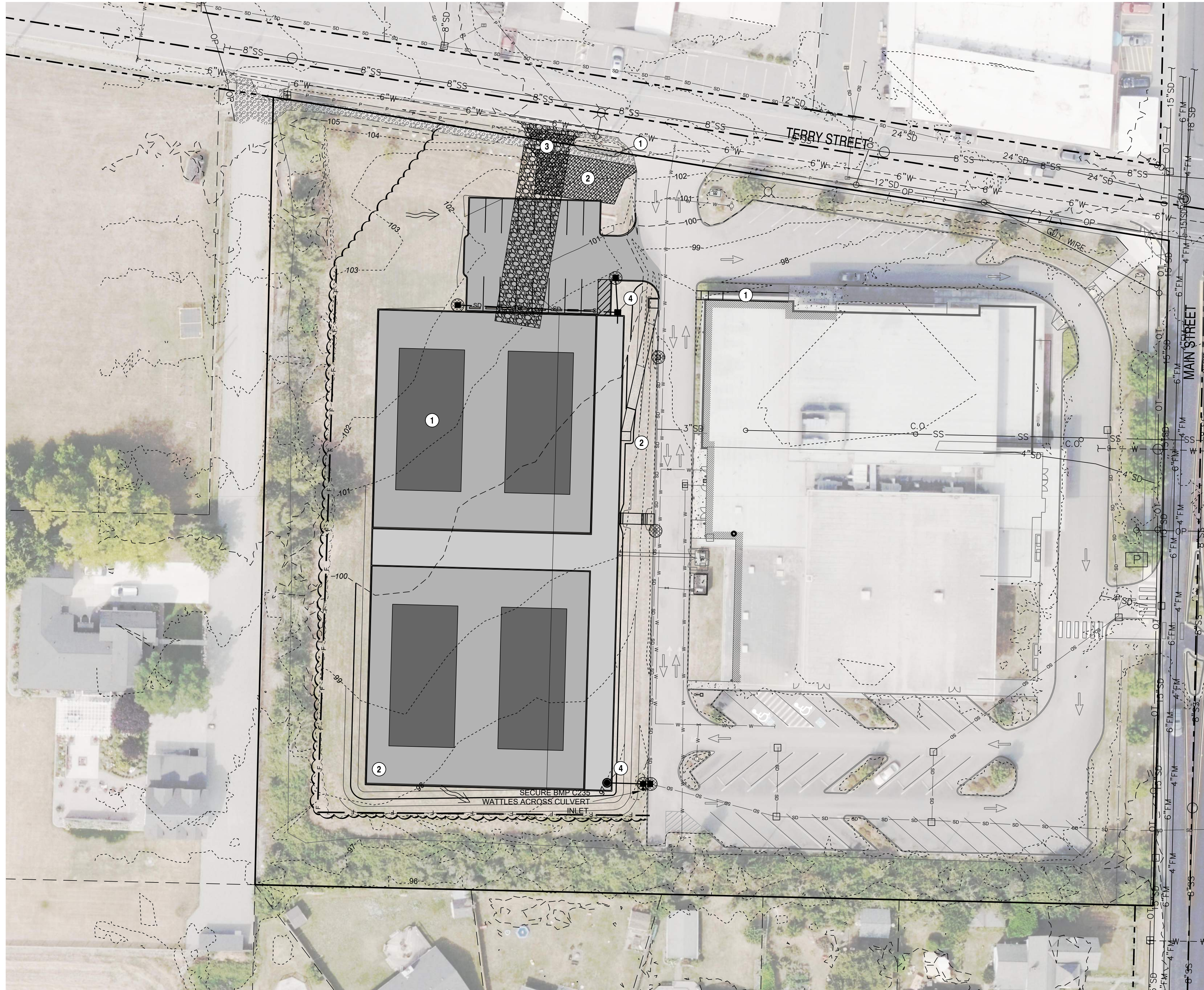
DATE: 05/10/2023

JOB #: 22-452



C0.0

SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.



**TESC LEGEND**

- AREA OF DISTURBANCE
- BMP C233 SILT FENCE/FILTER FENCE
- SAW CUT
- EXISTING SURFACE SLOPE
- BMP C220 INLET PROTECTION PER DETAIL 1 ON THIS PAGE

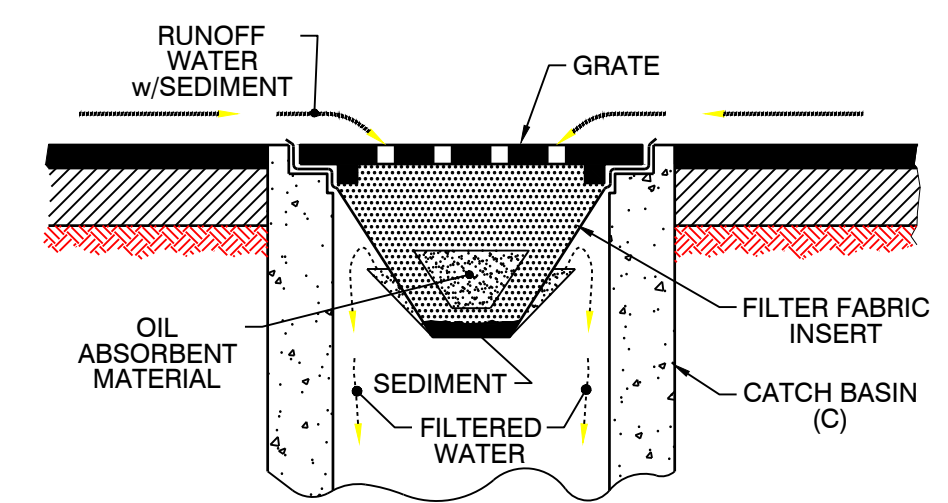
**STABILIZATION NOTES**

**TEMPORARY**

- 1 STABILIZE CONSTRUCTION AREAS DESTINED FOR GRAVEL OR PAVEMENT WITH GRAVEL BASE PER BMP C107.
- 2 STABILIZE ALL OTHER AREAS WITH SEEDING & 2" MIN THICKNESS OF STRAW, MULCH, COMPOST, OR WOOD CHIPS.
- 3 STABILIZED CONSTRUCTION ACCESS PER BMP C1.05 AND WSDOT DETAIL 2 C105 ON SHEET C-1.2
- 4 STRUCTURES HAVE SOLID LIDS AND ARE NOT INTENDED TO RECEIVE THROUGH-GRATE FLOW.

**PERMANENT**

- 1 STABILIZE PAVED AREAS WITH PAVEMENT SECTION PER PLAN DETAIL.
- 2 STABILIZE ALL OTHER AREAS WITH LOW MAINTENANCE, GRASS AND PER BMP T5.13 POST-CONSTRUCTION SOIL QUALITY & DEPTH.
- 3 PERMANENT SOIL AND VEGETATION OR PARKING GRAVEL/PAVEMENT AS APPROPRIATE.
- 4 STRUCTURES HAVE SOLID LIDS AND ARE NOT INTENDED TO RECEIVE THROUGH-GRATE FLOW.



"GULLYWASHER", "SILT SACK" OR OTHER APPROVED CATCH BASIN INSERT MAY BE USED FOR INLET PROTECTION. CONTACT: PRICE-MOON ENTERPRISES PH: 360.563.6709, OR "SILTSACK" BY ACF ENVIRONMENTAL AT PH: 1.800.644.9223 (OR APPROVED EQUAL)

**BMP C220 (TEMPORARY) STORM DRAIN INLET PROTECTION**

1 C1.0 N.T.S. (IF NEEDED)

LINE MEASURES 1" AT FULL SIZE PLOT

IF SHEET SCALE IS OFF, ADJUST SCALE SO THIS LINE EQUALS 1"

VERTICAL DATUM:  
NAVD 88  
DERIVED FROM GPS OBSERVATIONS  
HORIZONTAL DATUM:  
WA COORDINATE SYSTEM NAD 83  
GRID NORTH



**REVISIONS**

**HARMSEN**  
ENGINEERS  
SURVEYORS

OAK HARBOR, WA 98277



COUPEVILLE SCHOOL DISTRICT #204

TENNIS COURT RELOCATION & PARKING IMPROVEMENT

CONSTRUCTION SWPPP WEST CAMPUS

DATE: 05/10/2023

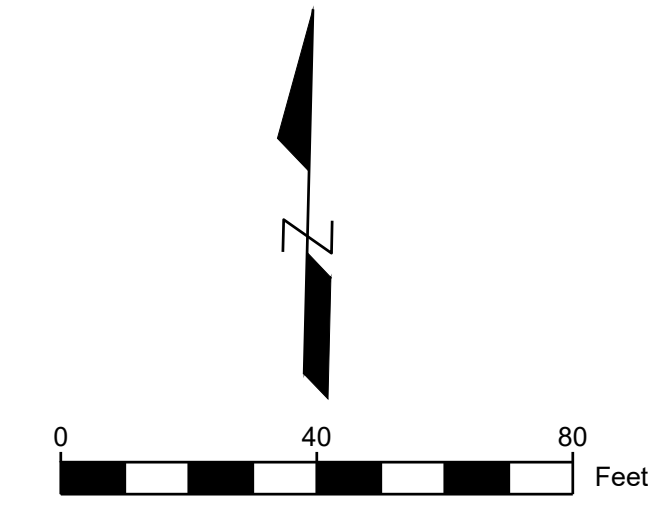
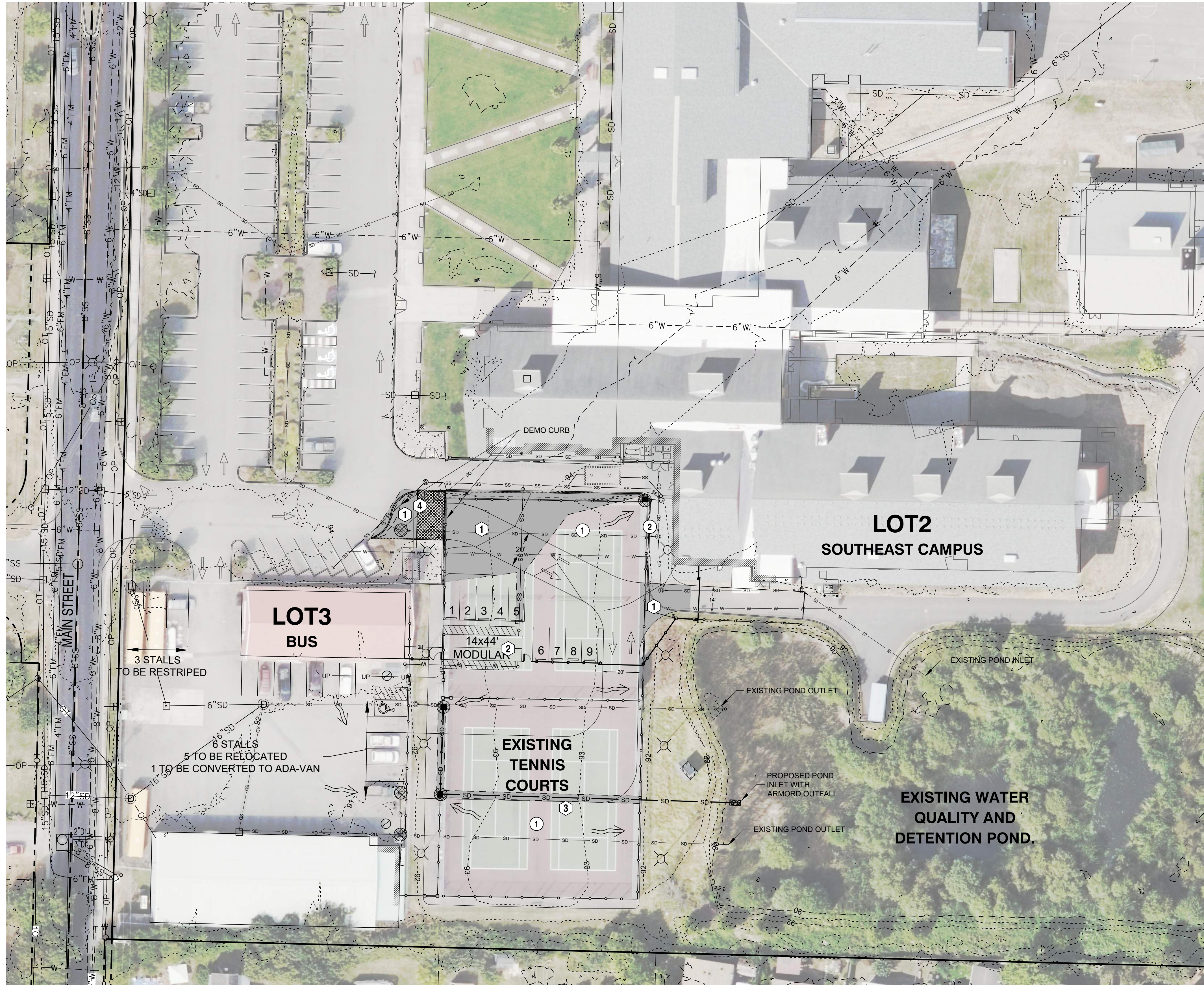
JOB #: 22-452



Know what's below.  
Call before you dig.

**C1.0**

SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.



**TESC LEGEND**

- AREA OF DISTURBANCE
- BMP C233 SILT FENCE/FILTER FENCE
- SAW CUT
- SURFACE SLOPE
- BMP C220 INLET PROTECTION PER DETAIL 1 ON THIS PAGE
- ARMORED PIPE OUTFALL, 3'W x6'L, QUARRY SPALLS, 6" THICK

**STABILIZATION NOTES**

**TEMPORARY**

- ① STABILIZE CONSTRUCTION AREAS DESTINED FOR GRAVEL OR PAVEMENT WITH GRAVEL BASE PER BMP C107.
- ② STABILIZE ALL OTHER AREAS WITH SEEDING & 2" MIN THICKNESS OF STRAW, MULCH, COMPOST, OR WOOD CHIPS.

**PERMANENT**

- ① STABILIZE PAVED AREAS WITH PAVEMENT SECTION PER PLAN DETAIL
- ② STABILIZE ALL OTHER AREAS WITH LOW MAINTENANCE, GRASS AND PER BMP T5.13 POST-CONSTRUCTION SOIL QUALITY & DEPTH.

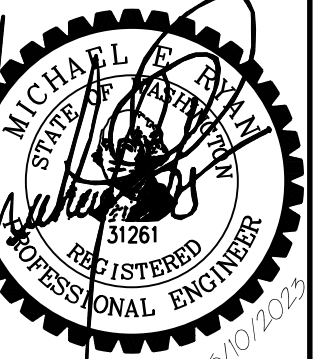
**NOTES:**

- ① PROPOSED PAVEMENT.
- ② PROPOSED MODULAR BUILDING AND PARKING STRIPING.
- ③ SAW CUT AND PAVEMENT PATCHING, SEE DRAINAGE PLANS.
- ④ SAW CUT AND DEMO FROM EXISTING ASPHALT TO CONCRETE WALL, APPROXIMATELY:
  - 26 LF CONCRETE WALL, 2FT TALL (VERTICAL SAWCUT)
  - 420 SF 4" CONC WALKWAY AND ADA CONNECTION
  - 70 LF CURB
  - CLEAR AND GRUB

**REVISIONS**

**HARMSEN**  
ENGINEERS  
SURVEYORS

(360) 675-5973  
(360) 794-7811  
OAK HARBOR, WA 98277



COUPEVILLE SCHOOL DISTRICT #204

TENNIS COURT RELOCATION & PARKING IMPROVEMENT

CONSTRUCTION  
SWPPP SOUTHEAST CAMPUS

DATE:

05/10/2023

JOB #:

22-452



Know what's below.  
Call before you dig.

**C1.1**

LINE MEASURES 1" AT FULL SIZE PLOT  
IF SHEET SCALE IS OFF, ADJUST SCALE SO THIS LINE EQUALS 1"

VERTICAL DATUM:  
NAVD 88  
DERIVED FROM GPS OBSERVATIONS  
HORIZONTAL DATUM:  
WA COORDINATE SYSTEM NAD 83  
GRID NORTH



# SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.

## BMP T5.13: POST-CONSTRUCTION SOIL QUALITY:

THIS BMP SHALL BE USED IN THE LANDSCAPED AREAS ON THE SITE AND ANY OTHER DISTURBED AREAS.

### PURPOSE AND DEFINITION:

NATURALLY OCCURRING (UNDISTURBED) SOIL AND VEGETATION PROVIDE IMPORTANT STORMWATER FUNCTIONS INCLUDING: WATER INFILTRATION; NUTRIENT, SEDIMENT, AND POLLUTANT ADSORPTION; SEDIMENT AND POLLUTANT BIOFILTRATION; WATER INTERFLOW STORAGE AND TRANSMISSION; AND POLLUTANT DECOMPOSITION. THESE FUNCTIONS ARE LARGELY LOST WHEN DEVELOPMENT STRIPS AWAY NATIVE SOIL AND VEGETATION AND REPLACES IT WITH MINIMA! TOPSOIL AND SOD. NOT ONLY ARE THESE IMPORTANT STORMWATER FUNCTIONS LOST, BUT SUCH LANDSCAPES THEMSELVES BECOME POLLUTION- GENERATING PERVIOUS SURFACES DUE TO INCREASED USE OF PESTICIDES, FERTILIZERS AND OTHER LANDSCAPING AND HOUSEHOLD/INDUSTRIAL CHEMICALS, THE CONCENTRATION OF PET WASTES, AND POLLUTANTS THAT ACCOMPANY ROADSIDE LITTER.

ESTABLISHING SOIL QUALITY AND DEPTH REGAINS GREATER STORMWATER FUNCTIONS IN THE POST DEVELOPMENT LANDSCAPE, PROVIDES INCREASED TREATMENT OF POLLUTANTS AND SEDIMENTS THAT RESULT FROM DEVELOPMENT AND HABITATION, AND MINIMIZES THE NEED FOR SOME LANDSCAPING CHEMICALS, THUS REDUCING POLLUTION THROUGH PREVENTION.

### APPLICATIONS AND LIMITATIONS

ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH IS NOT THE SAME AS PRESERVATION OF NATURALLY OCCURRING SOIL AND VEGETATION. HOWEVER, ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH WILL PROVIDE IMPROVED ON-SITE MANAGEMENT OF STORMWATER FLOW AND WATER QUALITY.

SOIL ORGANIC MATTER CAN BE ATTAINED THROUGH NUMEROUS MATERIALS SUCH AS COMPOST, COMPOSTED WOODY MATERIAL, BIOSOLIDS, AND FOREST PRODUCT RESIDUALS. IT IS IMPORTANT THAT THE MATERIALS USED TO MEET THE SOIL QUALITY AND DEPTH BMP BE APPROPRIATE AND BENEFICIAL TO THE PLANT COVER TO BE ESTABLISHED. LIKEWISE, IT IS IMPORTANT THAT IMPORTED TOPSOILS IMPROVE SOIL CONDITIONS AND DO NOT HAVE AN EXCESSIVE PERCENT OF CLAY FINES.

### DESIGN GUIDELINES

#### SOIL RETENTION

THE DUFF LAYER AND NATIVE TOPSOIL SHOULD BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

#### SOIL QUALITY

ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF TEN PERCENT DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT (BASED ON A LOSS-ON-IGNITION TEST) IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE ORIGINAL UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. PLANTING BEDS MUST BE MULCHED WITH 2 INCHES OF ORGANIC MATERIAL.
3. QUALITY OF COMPOST AND OTHER MATERIALS USED TO MEET THE ORGANIC CONTENT REQUIREMENTS:
  - A. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST THAT MEETS THE DEFINITION OF "COMPOSTED MATERIALS" IN WAC 173-350-220. THIS CODE IS AVAILABLE ONLINE AT: [HTTP://WWW.ECY.WA.GOV/PROGRAMS/SWFA/FACILITIES/350.HTML](http://www.ecy.wa.gov/programs/swfa/facilities/350.html).

COMPOST USED IN BIORETENTION AREAS SHOULD BE STABLE, MATURE AND DERIVED FROM YARD DEBRIS, WOOD WASTE, OR OTHER ORGANIC MATERIALS THAT MEET THE INTENT OF THE ORGANIC SOIL AMENDMENT SPECIFICATION. BIOSOLIDS AND MANURE COMPOSTS CAN BE HIGHER IN BIO-AVAILABLE PHOSPHORUS THAN COMPOST DERIVED FROM YARD OR PLANT WASTE AND THEREFORE ARE NOT ALLOWED IN BIORETENTION AREAS DUE TO THE POSSIBILITY OF EXPORTING BIO-AVAILABLE PHOSPHORUS IN EFFLUENT.

THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 35% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1.

THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.

B. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS AS DEFINED ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND MEETING THE CONTAMINANT STANDARDS OF GRADE A COMPOST.

THE RESULTING SOIL SHOULD BE CONDUCTIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

### IMPLEMENTATION OPTIONS:

THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW.

1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
  2. AMEND DISTURBED SOIL ACCORDING TO THE FOLLOWING PROCEDURES:
    - A. SCARIFY SUBSOIL TO A DEPTH OF ONE FOOT
    - B. IN PLANTING BEDS, PLACE THREE INCHES OF COMPOST AND TILL IN TO AN EIGHT-INCH DEPTH.
    - C. IN TURF AREAS, PLACE TWO INCHES OF COMPOST AND TILL IN TO AN EIGHT-INCH DEPTH.
    - D. APPLY TWO TO FOUR INCHES OF ARBORIST WOOD CHIP, COARSE BARK MULCH, OR COMPOST MULCH TO PLANTING BEDS AFTER FINAL PLANTING.
  3. ALTERNATIVELY, DISTURBED SOIL CAN BE AMENDED ON A SITE-CUSTOMIZED MALULER SO THAT IT MEETS THE SOIL QUALITY CRITERIA SET FORTH ABOVE, AS DETERMINED BY A LICENSED ENGINEER, GEOLOGIST, LANDSCAPE ARCHITECT, OR OTHER PERSON AS APPROVED BY SNOHOMISH COUNTY.
  3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER AND DEPTH REQUIREMENTS BY FOLLOWING THE PROCEDURES IN METHOD (2) ABOVE.
  4. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE ORGANIC MATTER AND DEPTH REQUIREMENTS.
- MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

### MAINTENANCE

1. SOIL QUALITY AND DEPTH SHOULD BE ESTABLISHED TOWARD THE END OF CONSTRUCTION AND ONCE ESTABLISHED, SHOULD BE PROTECTED FROM COMPACTION, SUCH AS FROM LARGE MACHINERY USE, AND FROM EROSION.
2. SOIL SHOULD BE PLANTED AND MULCHED AFTER INSTALLATION.
3. PLANT DEBRIS OR ITS EQUIVALENT SHOULD BE LEFT ON THE SOIL SURFACE TO REPLENISH ORGANIC MATTER.

## SITE GRADING AND T.E.S.C.P. NOTES

1. ALL GRADING SHALL COMPLY TO TOWN OF COUPEVILLE ENGINEERING STANDARDS AND CHAPTER 18 OF THE INTERNATIONAL BUILDING CODE.
2. INDICATE CONSTRUCTION LIMITS.
3. PUBLIC STREETS ARE TO BE KEPT CLEAR OF DIRT AND DEBRIS DURING EXCAVATION AND FILL OPERATIONS.
4. THE TEMPORARY EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR EXTENSIVE LAND CLEARING IN ACCORDANCE WITH THE APPROVED TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN. THESE FACILITIES MUST BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION AND LANDSCAPING IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
5. PERMANENT SEEDING FOR GROUND COVER SHOULD INCLUDE IMPORTED TOPSOIL, ON-SITE, SUITABLE STOCKPILED TOPSOIL, OR IMPORTED SOD.
6. ALL DISTURBED AREAS SUCH AS STORMWATER FLOWPATHS, ROADWAY BACK-SLOPES, ETC. SHALL BE SEEDED WITH A PERENNIAL GROUND COVER GRASS TO MINIMIZE EROSION. GRASS SEEDING WILL BE DONE USING AN APPROVED HYDROSEEDER OR AS OTHERWISE APPROVED BY THE OWNER.
7. IMMEDIATELY FOLLOWING FINISH GRADING, PERMANENT VEGETATION (CONSISTING OF RAPID, PERSISTENT AND LEGUME) WILL BE APPLIED. (MINIMUM 80# PER ACRE). THIS IS TO INCLUDE THE FOLLOWING: 20% ANNUAL, PERENNIAL OR HYBRID RYE GRASS, 40% CREEPING RED FESCUE, 40% WHITE CLOVER. HYDROSEED REQUIRED.
11. FERTILIZER SHALL BE APPLIED AT 400# PER ACRE OF 10-20-20 (10 POUNDS PER 1100 SQUARE FEET) OR EQUIVALENT. DEVELOPMENTS ADJACENT TO WATER BODIES SHALL USE NON-PHOSPHORUS FERTILIZER.
12. STOCKPILES ARE TO BE LOCATED IN SAFE AREAS AND ADEQUATELY PROTECTED TO PREVENT EROSION. HYDROSEEDING IS PREFERRED.
13. GENERAL: FILL PLACED BENEATH FOUNDATION FOOTINGS, SLABS, PAVEMENT, OR OTHER SETTLEMENT-SENSITIVE STRUCTURES SHOULD BE PLACED AS STRUCTURAL FILL. STRUCTURAL FILL, BY DEFINITION, IS PLACED IN ACCORDANCE WITH PRESCRIBED METHODS AND STANDARDS, AND IS MONITORED BY AN EXPERIENCED GEOTECHNICAL PROFESSIONAL OR SOILS TECHNICIAN. FIELD MONITORING PROCEDURES WOULD INCLUDE THE PERFORMANCE OF A REPRESENTATIVE NUMBER OF IN-PLACE DENSITY TESTS TO DOCUMENT THE ATTAINMENT OF THE DESIRED DEGREE OF RELATIVE COMPACTION. THE AREA TO RECEIVE THE FILL SHOULD BE STRIPPED OF TOPSOIL AND ORGANICS AND BE THOROUGHLY COMPACTED TO A NON-YIELDING CONDITION.
14. MATERIALS: STRUCTURAL FILL SHOULD CONSIST OF A GOOD QUALITY, GRANULAR SOIL, FREE OF ORGANICS AND OTHER DELETERIOUS MATERIAL AND BE WELL-GRADED. THE USE OF ON-SITE SOILS SHALL BE EVALUATED PER THE GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION.
15. FILL PLACEMENT: PLACEMENT OF STRUCTURAL FILL AND COMPACTION SHALL BE AS REQUIRED BY THE GEOTECHNICAL FIRM AND REPORT RECOMMENDATIONS. AT A MINIMUM, ALL EMBANKMENTS SHALL BE BUILT AND COMPACTED ACCORDING TO WSDOT STD. SPEC. 2.03.3(14)C METHOD B. THE ROADWAY SUBGRADE SHALL BE PREPARED PER WSDOT SPEC. 2-06.3. THE COUNTY INSPECTOR SHALL BE PROVIDED WITH CERTIFICATION FROM THE TESTING LAB OF THE COMPACTION OF THE ROADWAY BED PRIOR TO PAVING. AREAS TO RECEIVE FILL SHALL BE PROOF ROLLED. ALL LOOSE AND SOFT AREAS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL. COPIES OF ALL COMPACTION TESTING AND INSPECTION REPORTS SHALL BE PROVIDED TO THE COUNTY WITH THE CONSTRUCTION AS-BUILT SUBMITTALS.
16. TEMPORARY COVER BMP'S ARE REQUIRED TO STABILIZE EXPOSED SOILS. NOTES SHOULD CONTAIN BMP'S TIMING IN ACCORDANCE WITH THE FOLLOWING:
  - A. IF PROJECT GRADING IS PROPOSED BETWEEN OCTOBER 1 AND APRIL 30, NO SOIL MAY REMAIN EXPOSED FOR MORE THAN 2 DAYS.
  - B. IF PROJECT GRADING IS PROPOSED BETWEEN MAY 1 AND SEPTEMBER 30, NO SOIL MAY REMAIN EXPOSED FOR MORE THAN 7 DAYS.
  - C. DENUDE AREAS SHALL BE COVERED BY MULCH, SOD, PLASTIC, OR OTHER COVER BMP'S.
  - D. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT RETENTION BMP'S WITHIN 24 HOURS OF FORMATION.
  - E. GRADING AND CONSTRUCTION SHALL BE TIMED AND CONDUCTED IN STAGES TO MINIMIZE SOIL EXPOSURE.
17. SITE WORK SHALL COMPLY WITH THE DEPARTMENT OF ECOLOGY CONSTRUCTION STORMWATER PERMIT.
18. AT A MINIMUM, INSPECT THE EROSION CONTROL FACILITIES WEEKLY AND AFTER ANY RUNOFF PRODUCING STORM EVENT.
19. ANY NECESSARY REPAIRS TO THE TESC FACILITIES SHALL BE PERFORMED BEFORE OTHER SITEWORK COMMENCES.

## EROSION CONTROL BMP'S

**BMP C101, PRESERVING NATURAL VEGETATION:**  
CLEAR AND GRUB AS LITTLE LAND AS NECESSARY. DURING CONSTRUCTION, NATURAL VEGETATION WILL BE PRESERVED WHERE POSSIBLE TO HELP FILTER ANY SEDIMENT LADEN RUNOFF. CLEARING LIMITS ARE IDENTIFIED ON THE PLANS.

**BMP C105, STABILIZED CONSTRUCTION ENTRANCE:**  
IF A STAGING AREA IS CREATED ON UNDEVELOPED LAND, A STABILIZED CONSTRUCTION ENTRANCE WILL BE REQUIRED.

**BMP C107, CONSTRUCTION ROAD/PARKING AREA STABILIZATION:**  
AFTER PARKING AREAS ARE BROUGHT TO SUBGRADE, STABILIZE WITH THE BASE COURSE OF GRAVEL. USE THIS FOR ACCESS POINTS, BUILDING PAD, AND WALKS AS WELL.

**BMP C120, TEMPORARY & PERMANENT SEEDING:**  
ALL EXPOSED SOILS WILL BE LANDSCAPED, SEEDED OR HYDROSEEDED FOR PERMANENT COVERAGE AFTER CONSTRUCTION IS COMPLETE. SODDING IS ALLOWED.

**BMP C121, MULCHING:**  
COMMERCIALY AVAILABLE MULCH, WOOD CHIPS, OR STRAW MAY BE USED TO TEMPORARILY STABILIZE DISTURBED SOILS. THE CURRENT STANDARD IS TO PLACE MULCH TO A DEPTH UNTIL THERE IS NO VISIBLE SOIL.

**BMP C123, PLASTIC COVERING:**  
PLASTIC COVERING MAY BE USED TO PROTECT STOCKPILES. SAND BAGS ROPED TOGETHER SHALL BE USED TO STABILIZE THE PLASTIC.

**BMP C125, TOPSOILING:**  
TOPSOIL WILL BE PRESERVED FOR RE VEGETATED AREAS.

**BMP C130, SURFACE ROUGHENING:**  
LONGER SLOPES SHALL BE ROUGHENED PRIOR TO SEEDING. THIS IS COMMONLY DONE BY TRACKED VEHICLES TRAVERSING THE SLOPE.

**BMP C140, DUST CONTROL:**  
PAVED SURFACES MUST BE KEPT FREE OF SAND AND GRIT AT THE END OF THE WORKING DAY. SWEEP DEBRIS AS NECESSARY, STREET WASHING IS PROHIBITED. SURFACE DAMPENING MAY BE USED AS DUST CONTROL.

**BMP C207, CHECK DAMS**  
ROCK CHECK DAMS MAY BE INSTALLED IN THE DITCH AS NECESSARY.

**BMP C233, SILT FENCE:**  
FILTER FABRIC FENCING MAY BE USED DOWNHILL OF GRADING ACTIVITIES WHERE INSUFFICIENT VEGETATION EXISTS TO FILTER THE RUNOFF.

**BMP C235, WATTLES (STRAW OR SYNTHETIC):**  
STRAW OR SYNTHETIC WATTLES MAY BE SECURED CROSSWISE TO FLOW PATTERNS TO RETARD FLOW AND TRAP SEDIMENT.

## MAINTENANCE OF TESC FACILITIES

EROSION CONTROL MEASURES SHALL BE REVIEWED AT A MINIMUM MONTHLY DURING THE DRY SEASON, WEEKLY DURING THE WET SEASON, DAILY DURING PROLONGED RAIN EVENTS AND IMMEDIATELY AFTER A RUNOFF PRODUCING RAIN EVENT.

**BMP C101, PRESERVING NATURAL VEGETATION**  
INSPECT FLAGGED AREAS REGULARLY TO MAKE SURE FLAGGING HAS NOT BEEN REMOVED. IF TREE ROOTS HAVE BEEN EXPOSED OR INJURED, RE-COVER AND/OR SEAL THEM.

**BMP C105, STABILIZED CONSTRUCTION ENTRANCE**  
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE NOT LESS THAN 2-INCH CRUSHED AGGREGATE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

**BMP C120, TEMPORARY & PERMANENT SEEDING**  
SEEDING SHOULD BE SUPPLIED WITH ADEQUATE MOISTURE. SUPPLY WATER AS NEEDED, ESPECIALLY IN ABNORMALLY HOT OR DRY WEATHER OR ON ADVERSE SITES. WATER APPLICATION RATES SHOULD BE CONTROLLED TO PREVENT RUNOFF. RE-SEEDING - AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT EROSION SHALL BE RE-SEEDDED AS SOON AS SUCH AREAS ARE IDENTIFIED.

**BMP C121, MULCHING**  
MULCHED AREAS SHOULD BE CHECKED PERIODICALLY, ESPECIALLY FOLLOWING SEVERE STORMS, WHEN DAMAGED AREAS OF MULCH OR TIE-DOWN MATERIAL SHOULD BE REPLACED.

**BMP C123, PLASTIC COVERING**  
CHECK REGULARLY FOR RIPS AND PLACES WHERE THE PLASTIC MAY BE DISLODGED. CONTACT BETWEEN THE PLASTIC AND THE GROUND MUST BE MAINTAINED. ANY AIR BUBBLES FOUND SHOULD BE REMOVED IMMEDIATELY OR THE PLASTIC MAY RIP DURING THE NEXT WINDY PERIOD. RE-ANCHOR OR REPLACE THE PLASTIC AS NECESSARY.

**BMP C125, TOPSOILING:**  
THE NATIVE TOPSOIL REMOVED FROM THE SITE MAY BE STOCKPILED FOR USE IN REVEGETATED AREAS. INSPECT AREAS OF PLACED TOPSOIL FOR EROSION. RE-ESTABLISH GRADE OF ERODED AREAS AND ADD BMP'S TO PREVENT FUTURE EROSION.

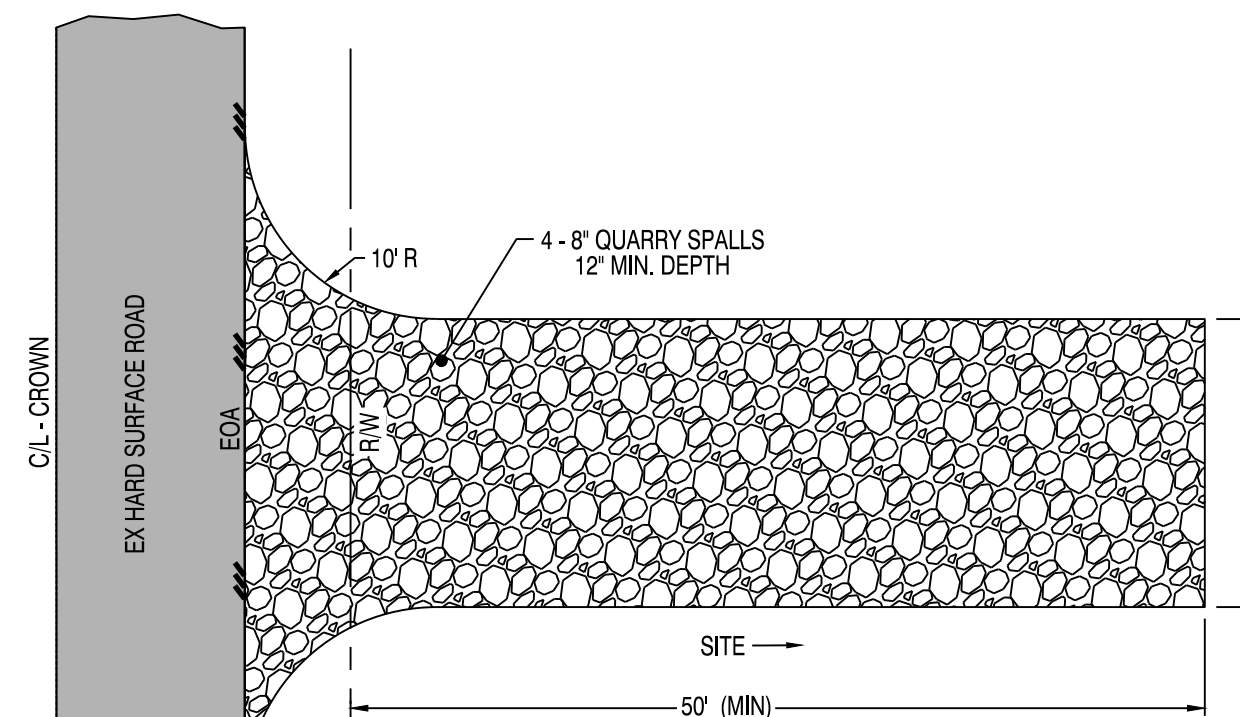
**BMP C130, SLOPE ROUGHENING**  
AREAS GRADED IN THIS MANNER SHALL BE SEEDDED AS QUICKLY AS POSSIBLE. IF RILLS APPEAR THEY SHOULD BE RE-GRADED AND RESEEDDED IMMEDIATELY.

**BMP C140, DUST CONTROL**  
SWEEP AND MOISTEN AREA AS NECESSARY TO KEEP DUST TO A MINIMUM.

**BMP C207, CHECK DAMS**  
MONITOR FOR PERFORMANCE AND SEDIMENT ACCUMULATION DURING AND AFTER EACH RUNOFF PRODUCING RAINFALL. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE HALF THE SUMP DEPTH. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, INSTALL A PROTECTIVE LINER IN THAT PORTION OF THE CHANNEL.

**BMP C233, SILT FENCE**  
INSPECT IMMEDIATELY AFTER RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIR AS NECESSARY. SEDIMENT MUST BE REMOVED WHEN IT REACHES APPROXIMATELY ONE THIRD THE HEIGHT OF THE FENCE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE FILTER FENCE IS REMOVED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDDED.

**BMP C235, WATTLES**  
INSPECT IMMEDIATELY AFTER RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIR AS NECESSARY. SEDIMENT MUST BE REMOVED WHEN IT REACHES APPROXIMATELY ONE THIRD THE HEIGHT OF THE WATTLE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE WATTLE IS REMOVED SHALL BE REMOVED OR DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDDED. REPLACE TORN OR DAMAGED WATTLES, ADD OR REPLACE STAKES AS NECESSARY.

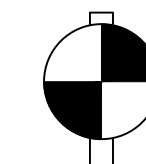


1. USE 4" TO 8" QUARRY SPALLS OR CRUSHED ROCK FOR SURFACING AS SHOWN. MATERIAL WITH "FINES" IS NOT ACCEPTABLE. INSTALL MIRAFI 500X OR EQUAL UNDER ROCK.
2. THE 50' MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO INSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY.
3. INSTALLATION: THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND ALL NECESSARY PIPING TO DRAIN TO CONVEYANCE DITCH DRAINING TO THE SEDIMENTATION POND.
4. WASHING: IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH THE GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.

## 2 BMP C105 STABILIZED CONSTRUCTION ENTRANCE N.T.S.

LINE MEASURES 1" AT FULL SIZE PLOT  
IF SHEET SCALE IS OFF, ADJUST SCALE SO THIS LINE EQUALS 1"

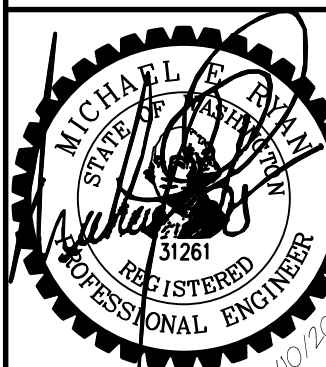
VERTICAL DATUM:  
NAVD 88  
DERIVED FROM GPS OBSERVATIONS  
HORIZONTAL DATUM:  
WA COORDINATE SYSTEM NAD 83 GRID NORTH



## REVISIONS

ENGINEERS  
SURVEYORS

HARMSEN



COUPEVILLE SCHOOL DISTRICT #204

TENNIS COURT RELOCATION & PARKING  
IMPROVEMENT  
CONSTRUCTION  
SWPPP NOTES

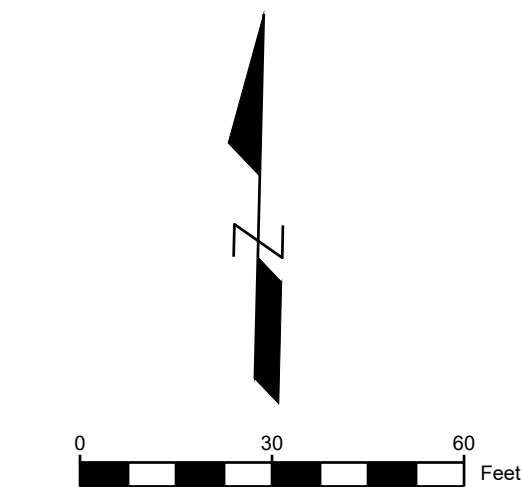
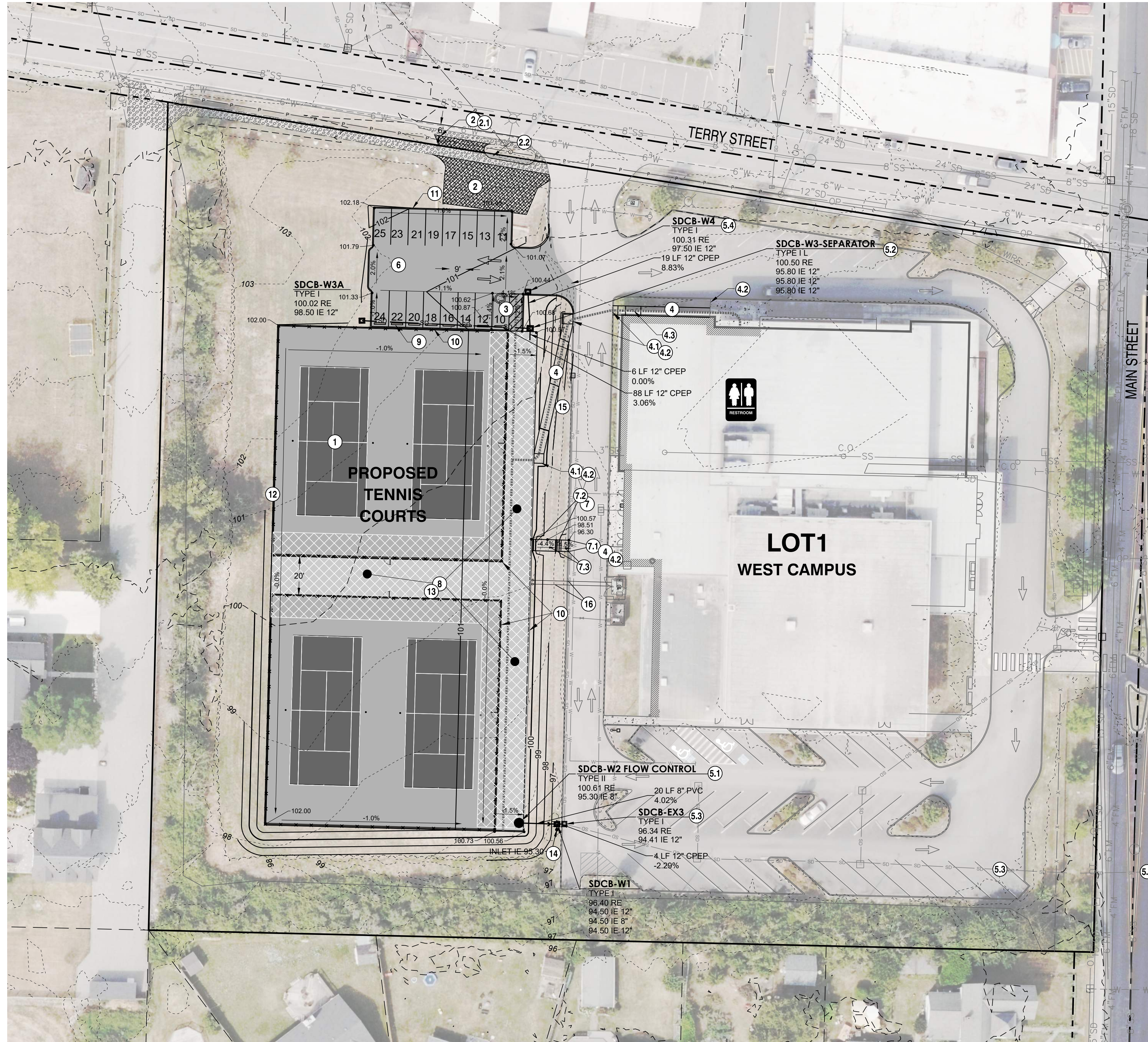
DATE: 05/10/2023

JOB #: 22-452

811  
Know what's below.  
Call before you dig.

C1.2

SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.



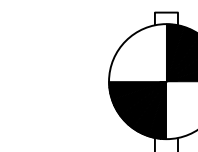
TENNIS COURT AND PARKING IMPROVEMENTS:

- 1 4 TENNIS COURTS PER BENYON SPORTS DESIGN, DIMENSIONS AND DETAILS.
- 2 RECLAIM APPROX 1,300 SF GRAVEL PARKING AND ACCESS TO VEGETATED COVER. CAMPUS PARKING TALLIES ON COVER SHEET. DECOMMISSION GRAVEL ACCESS POINT.
  - 2.1 LEAVE GRAVEL TRAIL AS-IS. REMOVE/RECLAIM APPROX 130 SF GRAVEL ACCESS POINT: FROM 6FT LATERAL FROM EDGE OF TERRY ROAD PAVEMENT TO ROW LINE/EDGE OF TRAIL. REPLACE TOP 6" OF MATERIAL WITH TOPSOIL AND VEGETATE WITH EROSION CONTROL GRASSES.
  - 2.2 EXTEND/CONTINUE TRAIL PER TOWN DETAIL L1-11 SHEET C3.0
- 3 ADA VAN STALL PER ANSI 117.1. INCLUDING ADJACENT WALKWAY, ADA-VAN STALL SHALL BE NOT LESS THAN 16' WIDE x 16' LONG. AS SHOWN, 16'W x 19'L. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
- 4 CONCRETE ADA SIDEWALK PER SECTION A SHEET C3.0. 5' WIDE, NOT TO EXCEED 5% RUNNING GRADE.
  - 4.1 ADA LANDING, 5' x 5', DESIGN SLOPE 1.5%.
  - 4.2 MATCH SURFACE AT EXISTING CONCRETE OR PAVEMENT.
  - 4.3 RAMP: THIS SEGMENT MAY BE GRADED AS A RAMP IF NECESSARY, NOT TO EXCEED 8.3% RUNNING GRADE OR 15 FT IN LENGTH.
- 5 STORM DRAINAGE PER 2019 DOE PER TOWN OF COUPEVILLE. INFILTRATION AND DISPERSION ARE UNAVAILABLE. UNDER COURT DETENTION VIA GRAVEL OR MESH-SIDED CHAMBERS.
  - 5.1 RESTRICTED RELEASE OF STORMWATER VIA FLOW CONTROL STRUCTURE TO EXISTING STORM SYSTEM. RETRACTOR PER DETAIL D SHEET C3.0. USE LOCKING, SOLID GRATE.
  - 5.2 WSDOT TYPE 1L CB WITH FLOATABLE SEPARATOR PER DETAIL E SHEET C3.0. CONNECT TO UNDER-COURT DETENTION. USE LOCKING, SOLID GRATE.
  - 5.3 EXISTING STORM SYSTEM FLOWS VIA PIPE ACROSS MAIN STREET AND ENTERS THE SCHOOL'S EXISTING STORMWATER QUALITY AND DETENTION POND.
  - 5.4 CATCH BASINS WSDOT TYPE 1 OR TYPE 1L AS NOTED WITH LOCKING, HERRING BONE GRATES, OTHERWISE PER WSDOT DETAILS B-5.20-02 OR B-5.40-02 RESPECTIVELY, SHEET C3.1.
- 6 6 PARKING STALLS ARE RELOCATED/REASSIGNED FROM 6 EXISTING BUS AREA STALLS THAT ARE TO BE REMOVED WITH NO IMPACT TO TOTAL PARKING TALLY. A TOTAL OF 20 NEW STALLS WILL BE ADDED TO THE CAMPUS PARKING CAPACITY. STALLS ARE STANDARD DIMENSION OF 9' x 19' WITH 24' WIDE DRIVE AISLE.
- 7 6' WIDE STAIRS WITH RAILING EACH SIDE, PER ANSI 117.1 504 AND 505. TWO SETS OF STEPS, 7 STEPS TOTAL, INCLUDING THE TENNIS COURT SURFACE.
  - 7.1 SAW CUT AND DEMO APPROX 6FT OF CURB, BEVEL SURVIVING CURB ENDS.
  - 7.2 SUGGESTED 12" TREADS WITH 7" RISERS, SLOPED 0.5% Laterally FOR POSITIVE DRAINAGE.
  - 7.3 "LANDINGS" NOT TO EXCEED 5% RUNNING SLOPE OR 2% CROSS SLOPE. AS SHOWN, 4.5% RUNNING SLOPE AND 1.5% CROSS SLOPE, FIELD VERIFY LANDING AND STEPS BEFORE PLACING CONCRETE.
- 8 BURIED STORMWATER STORAGE (NO INFILTRATION VALUE OR CAPACITY). 6,760 SF FLOOR BY 2.7' RISER DEPTH/LIVE STORAGE VIA CRATES/OPEN SIDED CHAMBERS, RISER HEIGHT 2.7', 0.298 AC-FT, LIVE STORAGE, HS-20 LOADING. INSTALL CRATES PER MANUFACTURER'S INSTRUCTIONS. COORDINATE MFG VOLUMES AND DIMENSIONS WITH DESIGN ENGINEER. ALTERNATIVELY SIZED AS SHOWN FOR UP TO 4FT OF CLEAN DRAIN ROCK AND 11,300 SF FLOOR, NON-INFILTRATING. STORMBRIXX MESH SIDED CHAMBERS SHOWN.
  - DIFFERENT STORAGE DEPTH WILL REQUIRE DIFFERENT CONTROL STRUCTURE RESTRICTOR SIZING. COORDINATE WITH DESIGN ENGINEER.
  - MESH SIDED/TOPPED CHAMBERS ARE ANTICIPATED PER THIS DESIGN.
  - SOLID SIDED CHAMBERS WILL REQUIRE ADDITIONAL STORM INLET DESIGN.
  - STORM PIPE CONNECTION TO CHAMBERS PER MFG INSTRUCTIONS.
- 9 PLACE WHEEL STOPS PER DETAIL 4 SHEET C2.2 TO PROTECT FENCING.
- 10 CURB: TENNIS COURT AND POROUS CONCRETE BORDER/CURB: FLUSH WITH FINISHED GRADE, 12" WIDE TOP IN FENCE POST AREAS, 6" WIDE TOP IN NON FENCE AREAS. OTHERWISE PER CEMENT CONCRETE PEDESTRIAN CURB PER WSDOT F-10.12-04 SHEET C3.0.
- 11 CURB: PARKING LOT CURB, WEST, NORTH AND ENTRY EDGES: 6" CEMENT CONCRETE TRAFFIC CURB PER WSDOT F-10.12-04 SHEET C3.0.
- 12 COORDINATE ALL TENNIS COURT FENCE POST INSTALLATION WITH BENYON SPORTS PRIOR TO CONCRETE CURB FORMING AND PLACING.
- 13 POROUS CONCRETE SPECTATOR AREA (NOT PLAYABLE SURFACES) PER DETAIL C SHEET C3.0 AND POROUS CONCRETE NOTES PER NOTES C2.2.
- 14 REMOVE/REPLACE CULVERT INTO CB W1. BEVEL PIPE END TO MATCH GRADE. REGRADE CULVERT CATCH AS NECESSARY.
- 15 FILL DITCH WITH TOPSOIL AND SEED PER SWPPP.
- 16 PLACE 2, 1" PVC SCH 40 CONDUIT FROM TRANSFORMER TO EDGE OF PROPOSED TENNIS COURT. TERMINATE AT COURT WITH HDPE RISERS WITH LIDS.

ADA SLOPE CAUTION:

1. NEW ADA-VAN PARKING STALLS MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION (16'W X 16'L).
2. CROSS SLOPE: CROSS SLOPES SHALL DRAIN POSITIVELY AND MUST NOT EXCEED 2%.
3. RUNNING SLOPE, NON RAMPS: EXCEPT FOR ADA ROUTE SEGMENTS MARKED AS RAMPS, NEW WALKWAYS MUST NOT EXCEED 5% IN LONGITUDINAL SLOPE.
4. RUNNING SLOPE RAMPS: SEE NOTES AS INDICATED IN THE PLANS.
5. THE TOWN INSPECTOR WILL REJECT CONCRETE SEGMENTS EXCEEDING THESE LIMITS.
6. WE ENCOURAGE FORMS TO BE CHECKED BY THE PROJECT ENGINEER FOR ADA COMPLIANCE PRIOR TO PLACING CONCRETE AS FIELD CONDITIONS CHANGE SLIGHTLY AS COMPARED TO APPROVED PLANS.

LINE MEASURES 1" AT FULL SIZE PLOT  
IF SHEET SCALE IS OFF, ADJUST SCALE SO THIS LINE EQUALS 1"

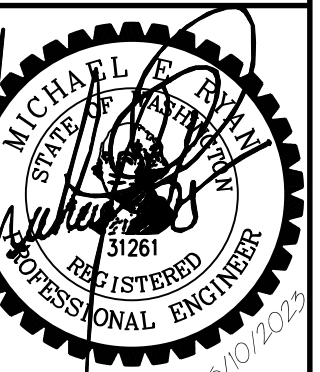


VERTICAL DATUM:  
NAVD 88  
DERIVED FROM GPS OBSERVATIONS  
HORIZONTAL DATUM:  
WA COORDINATE SYSTEM NAD 83  
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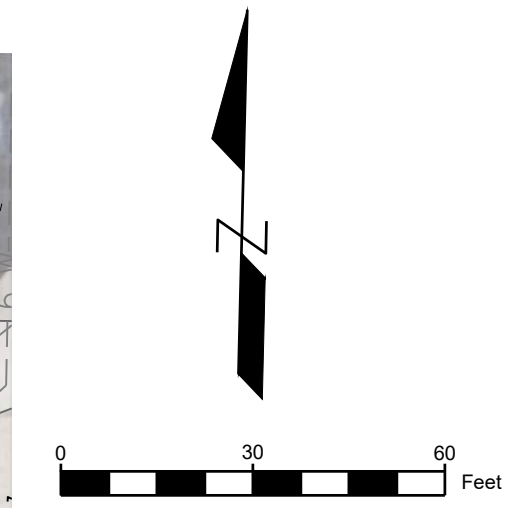
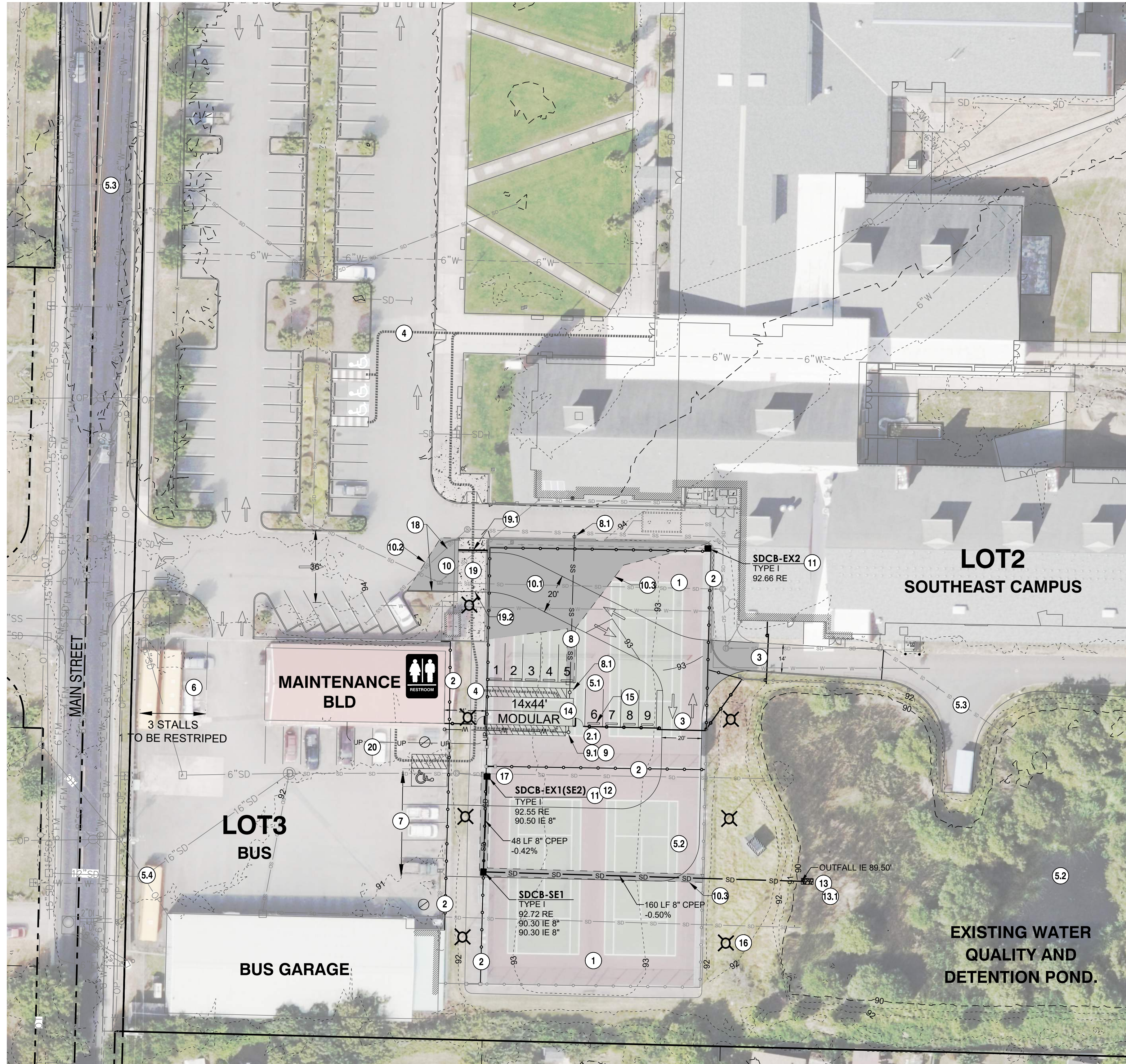
COUPEVILLE SCHOOL DISTRICT #204  
TENNIS COURT RELOCATION & PARKING IMPROVEMENT  
CONSTRUCTION  
WEST CAMPUS TENNIS COURT & PARKING

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SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.



FORMER TENNIS COURT AND PARKING IMPROVEMENTS:

- 1 DECOMMISSION THE TENNIS COURTS, LEAVE ASPHALT IN PLACE TO THE EXTENT PRACTICABLE.
- 2 CHAIN LINK FENCE: REMOVE APPROX 570 LF OF FENCING AND 2 MAN GATES. IN PAVED AREAS, CUT FENCE POST FLUSH WITH PAVEMENT, FILL POST VOID WITH CONCRETE.
  - 2.1 ADD APPROX 110 LF CHAIN LINK FENCE AND 2 MAN GATES IN KIND WITH FENCE REMOVED.
- 3 ADD 2 DRIVE AISLE VEHICLE GATES WITH REMOTE CONTROL. TYPE PER OWNER, INSTALL PER MFG INSTRUCTIONS. FIELD FIT LOCATION WITH FENCE REMOVE/REPLACEMENT.
- 4 ADA ACCESSIBLE ROUTE. SEE ADA SLOPE CAUTION NOTES SHEET C2.0.
- 5 STORM DRAINAGE PER 2019 DOE PER TOWN OF COUPEVILLE
  - 5.1 NEW PARKING SURFACE STORMWATER DISCHARGE REQUIRES WATER QUALITY TREATMENT.
  - 5.2 EXISTING COURTS DRAIN TO THE WATER QUALITY/DETENTION POND. RESURFACING OF OLD COURTS WILL CONTINUE TO DRAIN TO THE WATER QUALITY/DETENTION POND FOR TREATMENT.
  - 5.3 FLOW FROM THE NEW COURTS AND PARKING ON THE WEST CAMPUS ARE INDEPENDENTLY DETAINED WITH REGULATED RELEASE INTO THIS POND FOR TREATMENT WITH LESSER FLOW RATES THAN EXISTING CONDITIONS.
- 6 THE PAVEMENT AREA ADJACENT TO THE EXISTING BUS STALL NOW OCCUPIED BY THE PROPANE BOTTLE TO BE RE-STRIPED FOR 1 PARALLEL PARKING STALL WITH NO CHANGE IN EXISTING PARKING TALLY.
- 7 5 EXISTING STALLS TO BE REMOVED/RELOCATED TO NEW NW PARKING AREA AND 1 EXISTING STALL TO REMAIN AND BE RE-STRIPED FOR ADA-VAN WITH NO NET IMPACT TO PARKING TALLY. BLACKEN OR GRIND EX STALL STRIPES.
- 8 APPROX 78 LF 4" SANITARY SEWER SIDE CONNECTION, 2% MIN SLOPE TO EXISTING 6" PRIVATE SEWER LINE. TERMINATE 5FT FROM FUTURE PORTABLE (OUTSIDE OF ADA ROUTE) WITH CAP AND CO.
  - 8.1 PROVIDE 4" CLEAN OUTS WITH 8" ARMORED COVER. ARMORED COVER PER WSDOT B-85-40-00.
  - 9 1" POTABLE WATER CONNECTION VIA POLYETHYLENE (PE) OR PEX. CONNECT FROM EXISTING MAINTENANCE BUILDING SERVICE IN THE GENERAL LOCATION OF THE YARD HYDRANT.
    - 9.1 1" LEAD FREE POTABLE WATER SHUTOFF IN TRAFFIC RATED METER BOX.
  - 10 HMA 1/2" DRIVE AISLE/PARKING PER ASPHALT PAVING SECTION DETAIL B SHEET C3.0.
    - 10.1 OVERLAY ASPHALT PAVEMENT ON ASPHALT PAVEMENT WHERE PRACTICABLE. OVERLAY TO BE 0.25" (3") MIN. SAW CUT NEAT LINES OR GRIND AS NECESSARY TO ACHIEVE MIN THICKNESS OR AT PAVEMENT SEAMS WITH EXISTING HARD SURFACES.
      - 10.2 REMOVE CURBING, CLEAR AND GRUB AS NECESSARY.
      - 10.3 SAW-CUT OR GRIND LINE. SEAL WITH RS4000.
  - 11 UNLESS NOTED OTHERWISE, NEW CB'S ARE WSDOT TYPE 1 PER DETAIL B-5.20-02 WITH LOCKING, HERRINGBONE GRATES. IF EXISTING CB'S EX1 OR EX2 ARE NOT TRAFFIC RATED OR ARE STRUCTURALLY IMPAIRED, REPLACE WITH NEW TYPE 1.
    - 12 PERMANENTLY PLUG PIPE OUTFLOWING WESTWARD. (THIS IS NOT THE POND DISCHARGE LINE)
    - 13 BEVEL PIPE END TO MATCH SLOPE.
      - 13.1 ARMORED PIPE OUTFALL: 3'W x 6'L, QUARRY SPALLS 6" THICK.
    - 14 MODULAR BUILDING AND ADA ENTRY RAMPS PER OWNER AND BY OTHERS.
    - 15 WHEEL STOPS PER DETAIL 4 SHEET C2.2
    - 16 REMOVE 7 LIGHT POLES SURROUNDING EXISTING TENNIS COURTS PER OWNER. FILL VOID WITH MATERIAL IN-KIND WITH ADJACENT SURFACE.
    - 17 EXISTING, POND DISCHARGE LINES TO REMAIN FUNCTIONAL. EX DISCHARGE LINE BYPASSES CB EX1 AND IS NOT TO BE DISTURBED.
    - 18 6" CEMENT CONCRETE TRAFFIC CURB PER WSDOT F-10.12-04 SHEET C3.0.
    - 19 SAW CUT AND DEMO CONCRETE SIDEWALK, SEE DEMO NOTE ON SHEET C1.1. REPLACE WALKWAY WITH 6" THICK CONCRETE PER SECTION A SHEET C3.0.
      - 19.1 DRAINAGE RIDGE/SIDEWALK HIGH POINT: NEW WALKWAY SURFACE TO MATCH ASPHALT SURFACE ON THE NORTH END. SET WALKWAY RUNNING SLOPE UP 4.5% FOR 6 LF AS MEASURED FROM NORTH MATCH POINT, THEN DOWN SLOPE TO MEET SURVIVING CONCRETE WALKWAY SURFACE. WALKWAY RUNNING SLOPE IS <5%. GRADE CHANGE AND SLOPE DOES NOT WARRANT AN ADA 'RAMP'.
      - 19.1 EXISTING CONCRETE WALKWAY AND CURB-WALL TO REMAIN SOUTH OF NEW DRIVE AISLE.
    - 20 INSTALL ELECTRICAL 2" PVC SCH 40 CONDUIT FROM MAINTENANCE BUILDING TO PORTABLE.

WATER CONSTRUCTION NOTE:

1. A METERED, POTABLE CONNECTION TO THE EXISTING MAINTENANCE BUILDING WEST OF THE MODULAR BUILDING ULTIMATELY SERVES THE NE CORNER OF THE SHOP. THE LOCATION OF THE BURIED SERVICE IS UNKNOWN. IF THE SERVICE CAN BE FOUND AND SIZE IS ADEQUATE, A CHANGE ORDER MAY BE MADE TO REQUEST POTABLE CONNECTION EXTENSION TO THE PROPOSED MODULAR IN LIEU OF A NEW METER AND SERVICE.

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# SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.

## TOWN OF COUPEVILLE GENERAL REQUIREMENTS (2015):

- ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND TO THE REQUIREMENTS OF THE CURRENT EDITION OF THE "STATE OF WASHINGTON, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION" (WSDOT SPECS.), THE TOWN OF COUPEVILLE STANDARD SPECIFICATIONS (TOCSS) AND THE 2014 VERSION OF THE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (DOE MANUAL). IN CASE OF A CONFLICT BETWEEN PLANS, REGULATORY STANDARDS OR SPECIFICATIONS, THE TOWN OF COUPEVILLE PUBLIC WORKS DEPARTMENT SHALL MAKE THE FINAL DETERMINATION.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER CONSTRUCTION DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES. THROUGHOUT THE PERIOD OF CONSTRUCTION, CONTRACTOR SHALL COMPLY WITH THE TERMS OF ALL PERMITS.
- THE CONTRACTOR MUST HAVE A FULL SET OF TOWN APPROVED CIVIL DRAWINGS ON THE SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY PERMIT(S) FROM THE TOWN OF COUPEVILLE PRIOR TO COMMENCING WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING WITH REPRESENTATIVES OF THE TOWN OF COUPEVILLE PUBLIC WORKS DEPARTMENT, AND WGH REPRESENTATIVES (INCLUDING THE ENGINEER OF RECORD) AT LEAST ONE WEEK PRIOR TO THE START OF CONSTRUCTION. THE TOWN WILL SCHEDULE THE MEETING. THE CONTRACTOR SHALL PROVIDE A DAILY CONSTRUCTION SCHEDULE TO THE TOWN AT THE PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL CALL FOR UTILITY LOCATES PRIOR TO EXCAVATION WORK. THE CONTRACTOR SHALL PROTECT ALL PRIVATE AND PUBLIC UTILITIES FROM DAMAGE RESULTING FROM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH DAMAGE TO PUBLIC AND PRIVATE UTILITIES BY THE CONTRACTOR'S WORK FORCE, INCLUDING COLLATERAL DAMAGE TO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING IN CONFORMANCE WITH THE TEMPORARY EROSION & SEDIMENTATION CONTROL PLAN AND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP SHALL BE ONSITE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES.
- CONSTRUCTION NOISE SHALL BE LIMITED TO BETWEEN 7 a.m. TO 7 p.m., MONDAY THROUGH FRIDAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO THE TOWN FOR APPROVAL PRIOR TO PERFORMING THE WORK. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23- TRAFFIC CONTROL, SHALL APPLY.
- ALL WORK AND MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE TOWN OF COUPEVILLE PUBLIC WORKS DEPARTMENT WITH THE EXCEPTION OF THE PRIVATE WATER AND SEWER LINES. AN INSPECTOR REPRESENTING THE TOWN OF COUPEVILLE PUBLIC WORKS DEPARTMENT MUST INSPECT ALL WORK IDENTIFIED ON THE PLANS, BOTH PUBLIC AND PRIVATE WITH THE EXCEPTION NOTED ABOVE. THE CONTRACTOR SHALL CALL AT LEAST 24 HOURS IN ADVANCE TO SCHEDULE THE FOLLOWING INSPECTIONS, BUT NOT LIMITED TO:
  - PLACEMENT OF TEMPORARY EROSION CONTROL MEASURES.
  - CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
  - GRADING OF PUBLIC OR PRIVATE ROADWAY AT:
    - COMPLETION OF EXCAVATION TO SUBGRADE.
    - COMPLETION OF BALLAST COURSE PLACEMENT
    - COMPLETION OF CRUSHED SURFACING COURSE PLACEMENT
  - POURING OF CURB AND GUTTER AND SIDEWALK IN PUBLIC ROADWAY
  - ASPHALT PAVING IN PROGRESS IN PUBLIC ROADWAY
  - OVERALL INSPECTION FOR FINISHED SHOULDERS, DITCHES, PERMANENT SEEDING AND MONUMENT PLACEMENT
  - END OF MAINTENANCE PERIOD
- DURING THE INSTALLATION OF UTILITIES WITHIN THE WATERLINE EASEMENT TO BE DEDICATED TO THE TOWN OF COUPEVILLE, AN INSPECTOR REPRESENTING THE TOWN OF COUPEVILLE MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSPECTION COVERAGE, NOTIFYING THE INSPECTOR IN ADVANCE, AND KEEPING THE CONSTRUCTION SCHEDULE UPDATED.
- THE CONTRACTOR SHALL NOTIFY THE TOWN AT LEAST 10 WORKING DAYS PRIOR TO MAKING A CONNECTION TO THE EXISTING WATER SYSTEM. THE CONTRACTOR SHALL EXPOSE THE EXISTING WATER MAIN AND FITTINGS AT THE CONNECTION POINT BEFORE ORDERING THE NECESSARY ADAPTORS AND FITTINGS REQUIRED FOR THE FINAL CONNECTION. BEFORE A CONNECTION IS MADE, THE CONTRACTOR SHALL ATTEND A MEETING WITH REPRESENTATIVES OF THE TOWN OF COUPEVILLE PUBLIC WORKS DEPARTMENT, AND WGH REPRESENTATIVES (INCLUDING THE ENGINEER OF RECORD) TO DISCUSS COORDINATION OF THE WORK, SCHEDULE, AND REQUIRED AND LENGTH OF WATER SHUT OFFS.
- TESTING SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED SPECIFICATIONS.
- THE CONTRACTOR SHALL INFORM THE ENGINEER OF RECORD AND OBTAIN APPROVAL FROM THE TOWN OF COUPEVILLE PUBLIC WORKS DIRECTOR OF ANY PROPOSED DEVIATION FROM THE APPROVED PLANS PRIOR TO CONSTRUCTION OF THE REVISED IMPROVEMENTS. THE CONTRACTOR SHALL KEEP RECORDS OF ALL DEVIATIONS AND SHALL FORWARD THEM TO THE ENGINEER OF RECORD AND TO THE TOWN OF COUPEVILLE PUBLIC WORKS DEPARTMENT.
- AS-BUILT DRAWINGS OF ALL IMPROVEMENTS DEEDED OR CONVEYED TO THE TOWN SHALL BE PROVIDED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE ENGINEER OF RECORD TO ASSURE ACCURATE AND TIMELY COLLECTION OF ALL REQUIRED AS-BUILT DATA. THIS DATA MUST ACCURATELY REFLECT THE LOCATIONS OF ALL UNDERGROUND UTILITIES, BOTTOM OF PIPE ELEVATIONS, INVERT ELEVATIONS, MANHOLE LOCATIONS, WATER SERVICE TAPS, BLOW-OFF LOCATIONS AND INVERTS OF SERVICE CONNECTIONS (BOTH AT PIPE AND AT PROPERTY LINE), VERTICAL AND HORIZONTAL BENDS, SERVICE BOXES AND METERS, VALVES AND HYDRANTS. CALL THE ENGINEER OF RECORD AT LEAST 48-HOURS BEFORE BURYING UNDERGROUND PIPE TO ASSURE AND FACILITATE REQUIRED AS-BUILT SURVEY.
- THE CONTRACTOR SHALL FURNISH A SURETY BOND TO GUARANTEE THE WORK WITHIN THE RIGHT-OF-WAY AND THE WATERLINE EASEMENT TO BE DEDICATED TO THE TOWN FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE OF THE WORK BY THE TOWN.

## PAVEMENT PATCHING:

SEE SECTION 5-05 AND SECTION 9 OF THE 2018 PLANS AND SPECIFICATION FOR ROADS, BRIDGE AND MUNICIPAL CONSTRUCTION.

A. ALL ASPHALT TO BE REMOVED MUST BE SAWCUT. A JACKHAMMER CAN BE USED IF A NICE EVEN CUT IS MADE. WHEEL CUTTING IS NOT AN APPROVED METHOD UNLESS APPROVED BY THE CITY OF ENGINEER IN ADVANCE. ANY DEVIATION FROM THIS SPECIFICATION SHALL BE IN WRITING 48-HOURS BEFORE SAW CUTTING TAKES PLACE.

ABUTTING EDGES AND CURBS MUST BE THOROUGHLY CLEANED.

ALL ASPHALT EDGING WILL BE TACKED PRIOR TO ASPHALTING.

ASPHALT PATCH TO BE COMPACTED TO 92% MAX. RICE DENSITY (SECTION 5-04.3(10)B).

ALL FINAL JOINTS AND SAWCUTS TO BE SEALED (SECTION 5-05.3(8)B) USING A HOT POURED JOINT SEALANT (SECTION 9-04.2(1)). A PREFERRED SEALANT IS AR-4000.

## ASPHALT CONSTRUCTION OR PAVING:

- CRUSHED SURFACING TOP COURSE (CSTC) GRADATION SHALL BE 3/4-IN. MINUS CONFORMING TO WSDOT STANDARD SPECIFICATIONS, SECTION 9-03.9(3).
- COMMERCIAL HMA MIX DESIGN SHALL BE SELECTED BY THE CONTRACTOR BUT SHALL GENERALLY BE IN ACCORDANCE WITH "MODIFIED B MIX". PAVING SHALL NOT OCCUR PRIOR TO ENGINEER'S APPROVAL OF MIX DESIGN.
- COMPACT HMA TO A MINIMUM OF 91.0% OF MAXIMUM RICE DENSITY.
- EXCEPT AS INDICATED HEREIN, PERFORM PAVING IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS, SECTION 5-04.
- SAWCUT EXISTING PAVEMENT EDGES IMMEDIATELY PRIOR TO PAVING WHERE NEW PAVING IS TO MATCH EXISTING. TACK PRIOR TO PLACING HMA. SEAL JOINT.
- COMPACTION OF TOP COURSE, BASE COURSE, AND SUBGRADE SHALL BE IN ACCORDANCE WITH CITY SECTIONS & NOTES PER PLAN.
- FINISH SURFACES SHALL BE FREE FROM BIRD BATHS AND IMPEDIMENTS TO DRAINAGE, AND SHOW NO VARIATION FROM DESIGNATED ELEVATIONS GREATER THAN 1/4-IN. NOR SURFACE DEVIATIONS EXCEEDING 3/8-IN. FROM THE BOTTOM OF A 10 FOOT STRAIGHT EDGE EXCEPT AT CROWNS AND SLOPES. PROVIDE THE COMPACTED THICKNESS SHOWN ON THE DRAWINGS WITHIN A TOLERANCE OF MINUS 0-IN. TO PLUS 1/4-IN.
- PAVEMENT MARKING MATERIALS SHALL CONFORM TO SECTION 9-34 OF THE WSDOT STANDARD SPECIFICATIONS. MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH SECTION 8-22.

## RECORD DOCUMENTS:

- CONTRACTOR TO ACCURATELY RECORD ACTUAL ELEVATIONS OF ALL UTILITIES BY HORIZONTAL DIMENSIONS ELEVATIONS OR INVERTS AND SLOPE GRADIENTS. PROVIDE RECORD DATA TO OWNER OR OWNER'S REPRESENTATIVE.
- IDENTIFY UNEXPECTED VARIATIONS TO SUBSOIL CONDITIONS OR DISCOVERY OF UNCHARTED UTILITIES.

## WORK HOURS:

WORK SHALL BE COMPLETED BETWEEN THE HOURS OF 7:00 AM TO 9:00 PM MONDAY THROUGH FRIDAY. EXCEPTIONS TO THESE HOURS MAY BE APPROVED THROUGH THE TOWN OF COUPEVILLE BUILDING DEPARTMENT.

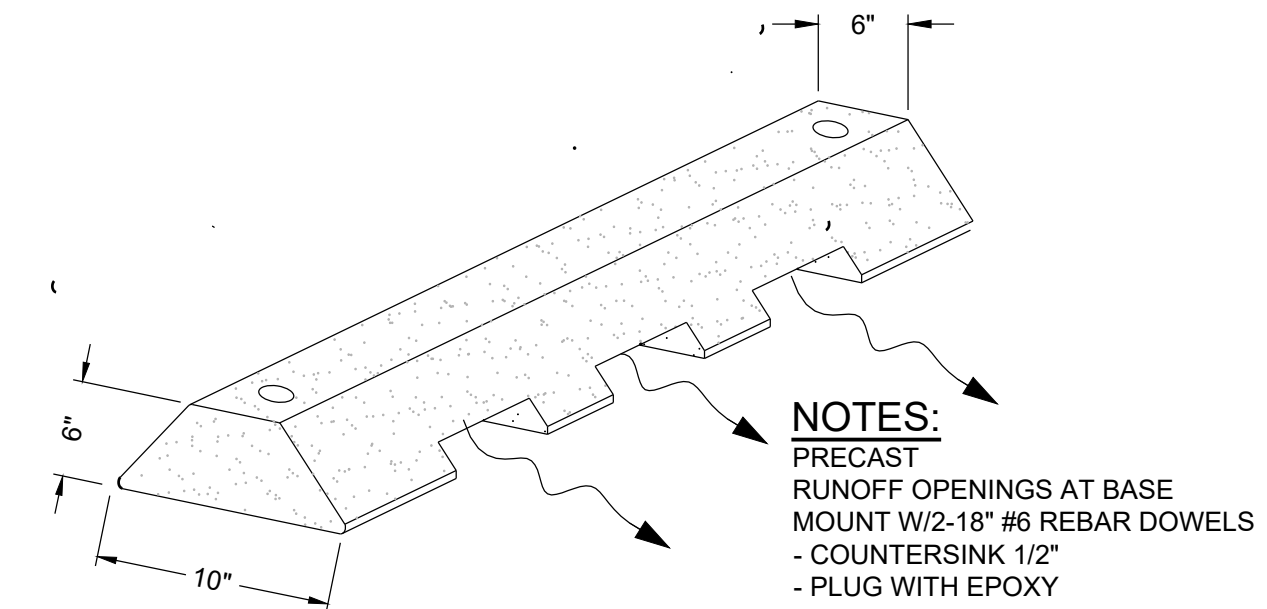
## DETECTABLE MARKING TAPE:

DETECTABLE MARKING TAPE SHALL BE INSTALLED ABOVE ALL PIPES AND SHALL CONFORM TO SECTION 9-15.18 OF THE WSDOT STANDARD SPECIFICATIONS.

## POROUS CONCRETE NOTES:

(REFER TO SECTION 'M' ON SHEET C2)

- POROUS CONCRETE SHALL COMPLY WITH ACI 522.1.
- VOID CONTENT SHALL BE 15%-35% AND BE DEMONSTRATED PER ASTM 1688.
- DENSITY AND VOID CONTENT OF HARDENED POROUS CONCRETE DEMONSTRATED PER ASTM 1754.
- ONE TEST PANEL IS RECOMMENDED FOR DEMONSTRATION OF PERFORMANCE PRIOR TO SLAB COMPLETION. PERFORMANCE METRICS: COMPACTED THICKNESS NO LESS THAN 1/4" OF DESIGN THICKNESS, VOID CONTENT ±3%.
- PLACEMENT OF CONCRETE VIA PUMPS IS NOT ALLOWED.
- COMPACT PERVIOUS CONCRETE WITH ROLLER SCREED OR WITH ALTERNATE SCREED AS APPROVED BY THE ENGINEER.
- CURING PROCEDURES TO BEING PERFORMED WITHIN 3 TO 5 MINUTES FOLLOWING ROLLER SCREED UNLESS HYDRATION STABILIZERS ARE USED PER ACI 522.1.
- PAVEMENT SURFACE SHALL BE COVERED WITH 6 MIL POLYETHYLENE OR OTHER APPROVED COVERING.
- COVER SHALL BE MAINTAINED TO BE FREE OF TEARS OR RIPS. COVERING SHALL BE SECURED WITH 2 x 4" TIMBERS AND / OR SANDBAGS AND SHALL BE PREVENTED FROM WIND BLOWING FOR A MINIMUM 7 DAY CURE.



**4 WHEEL STOP DETAIL**  
SCALE: NONE

LINE MEASURES 1" AT FULL SIZE PLOT  
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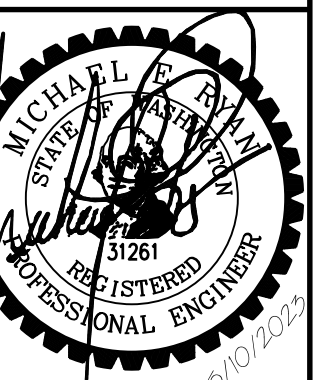
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COUPEVILLE SCHOOL DISTRICT #204

TENNIS COURT RELOCATION & PARKING IMPROVEMENT

CONSTRUCTION STANDARD NOTES

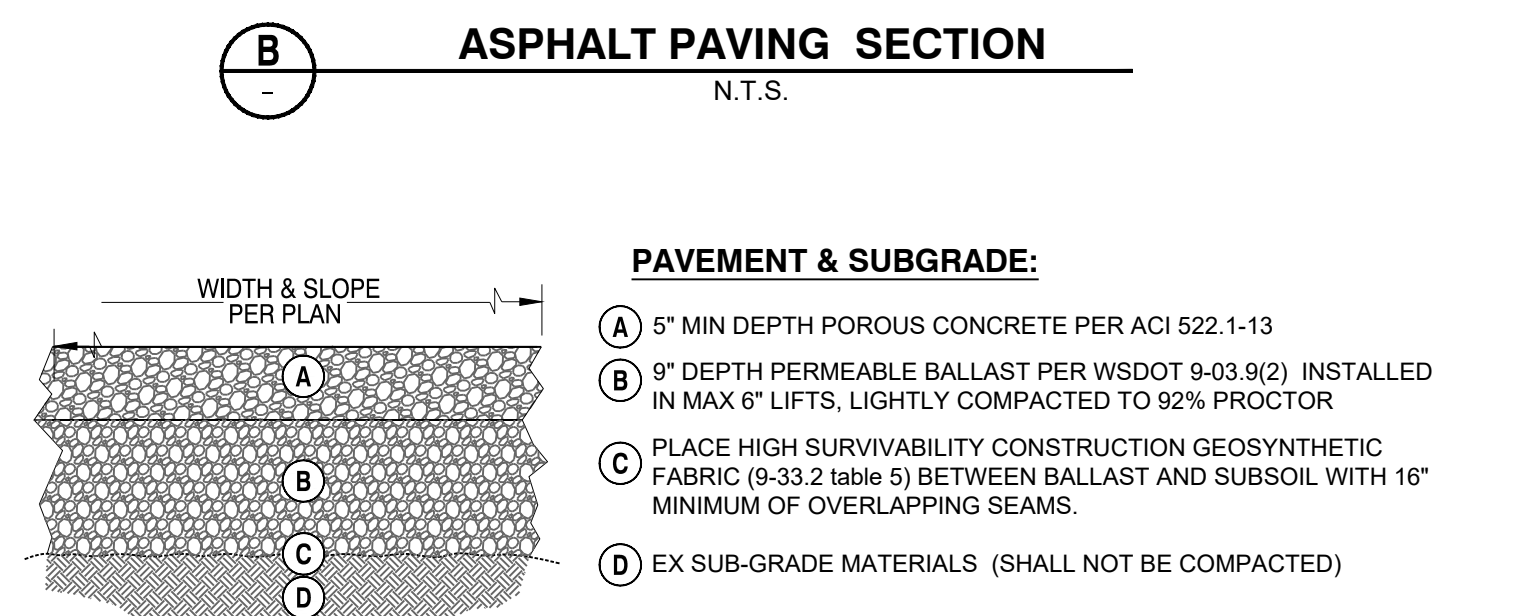
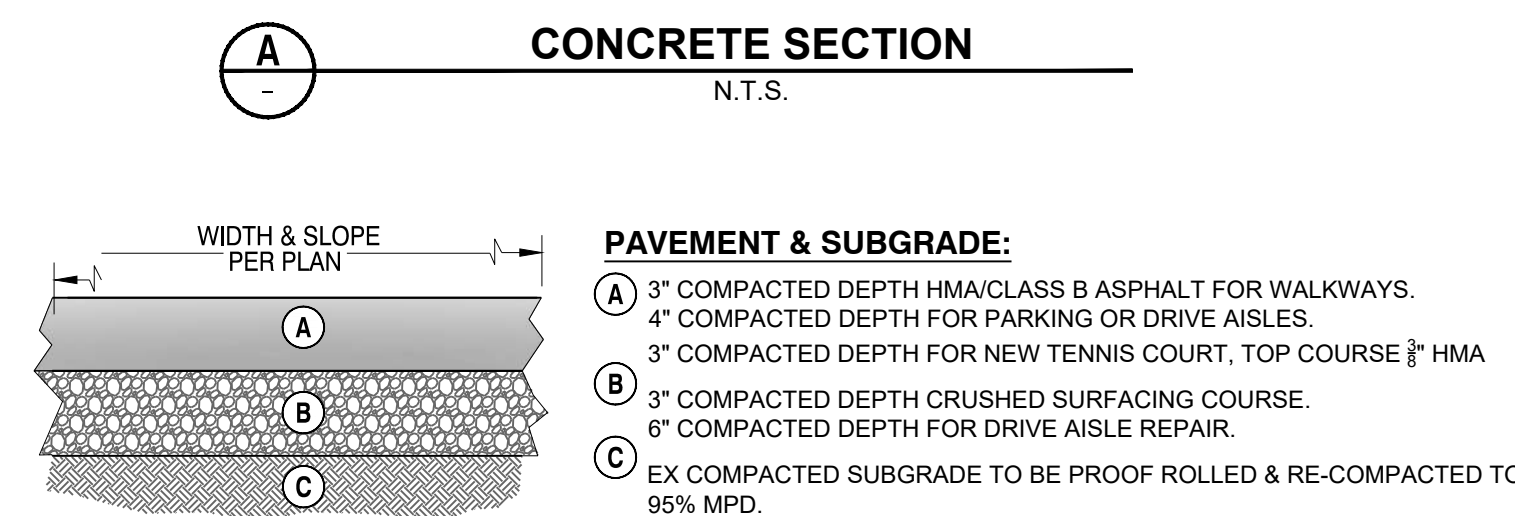
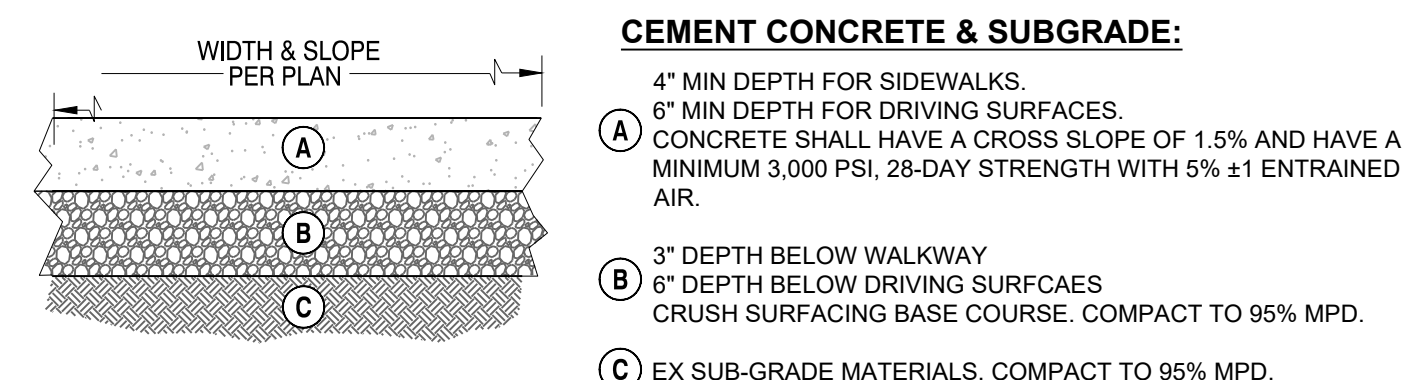
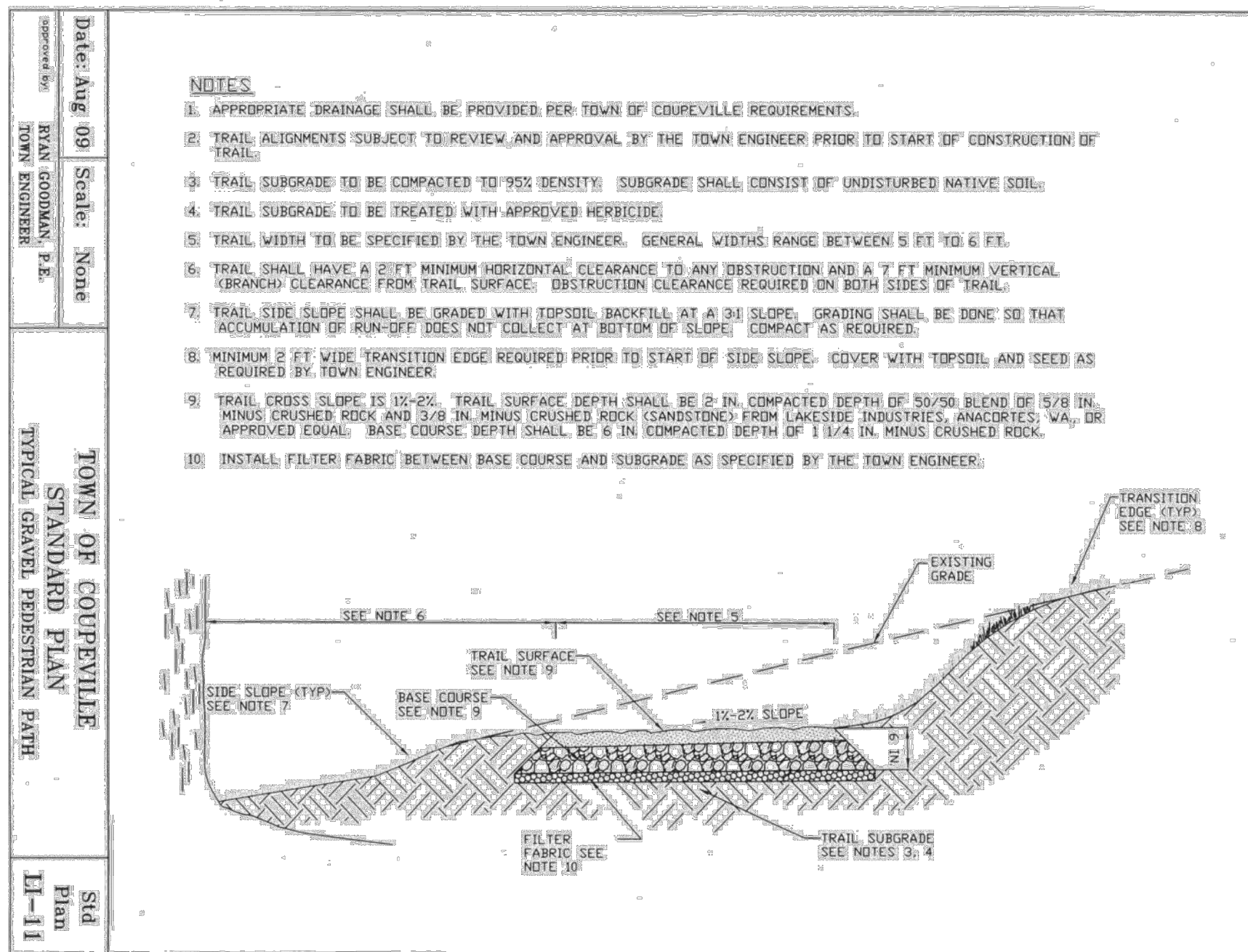
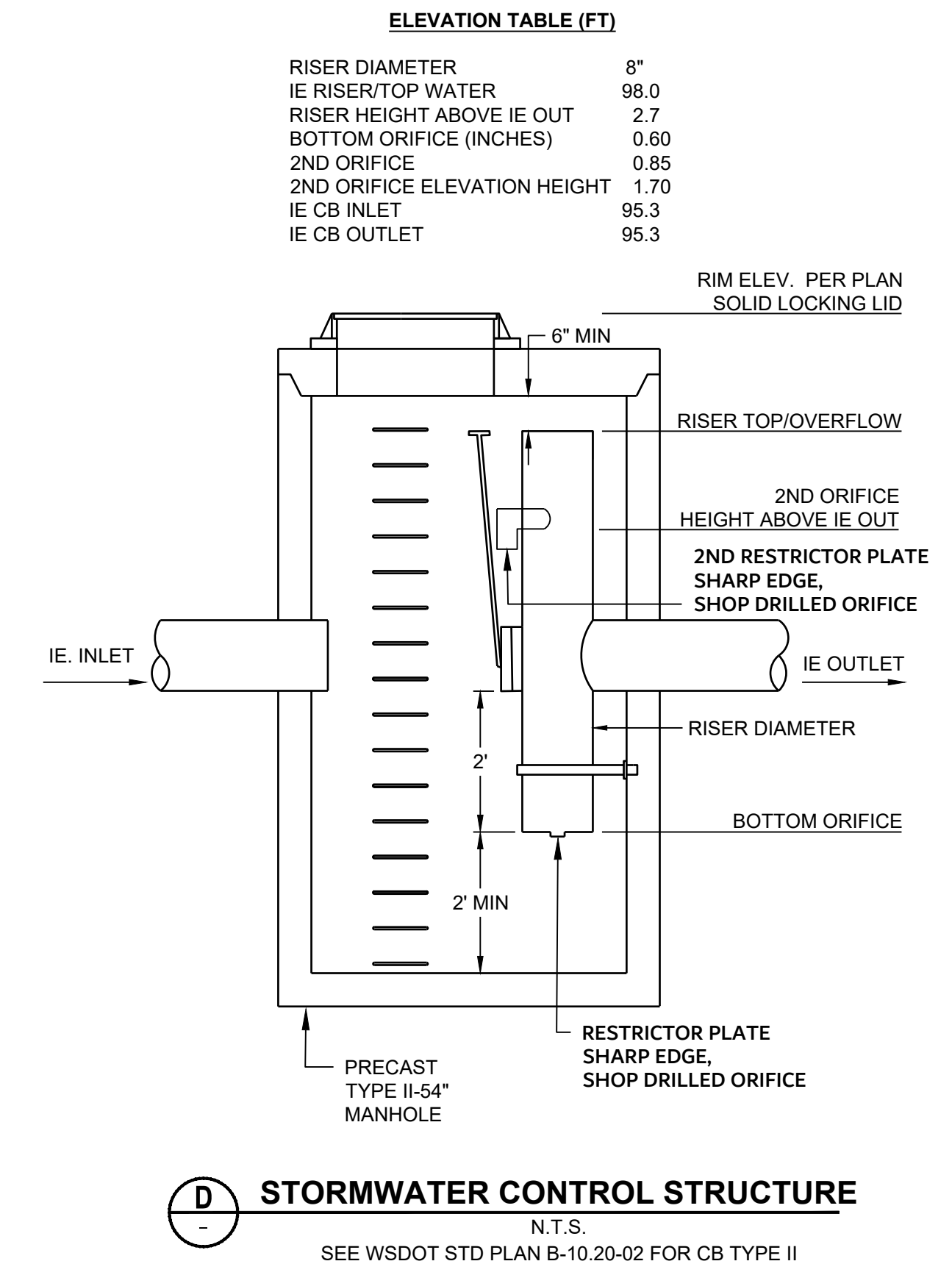
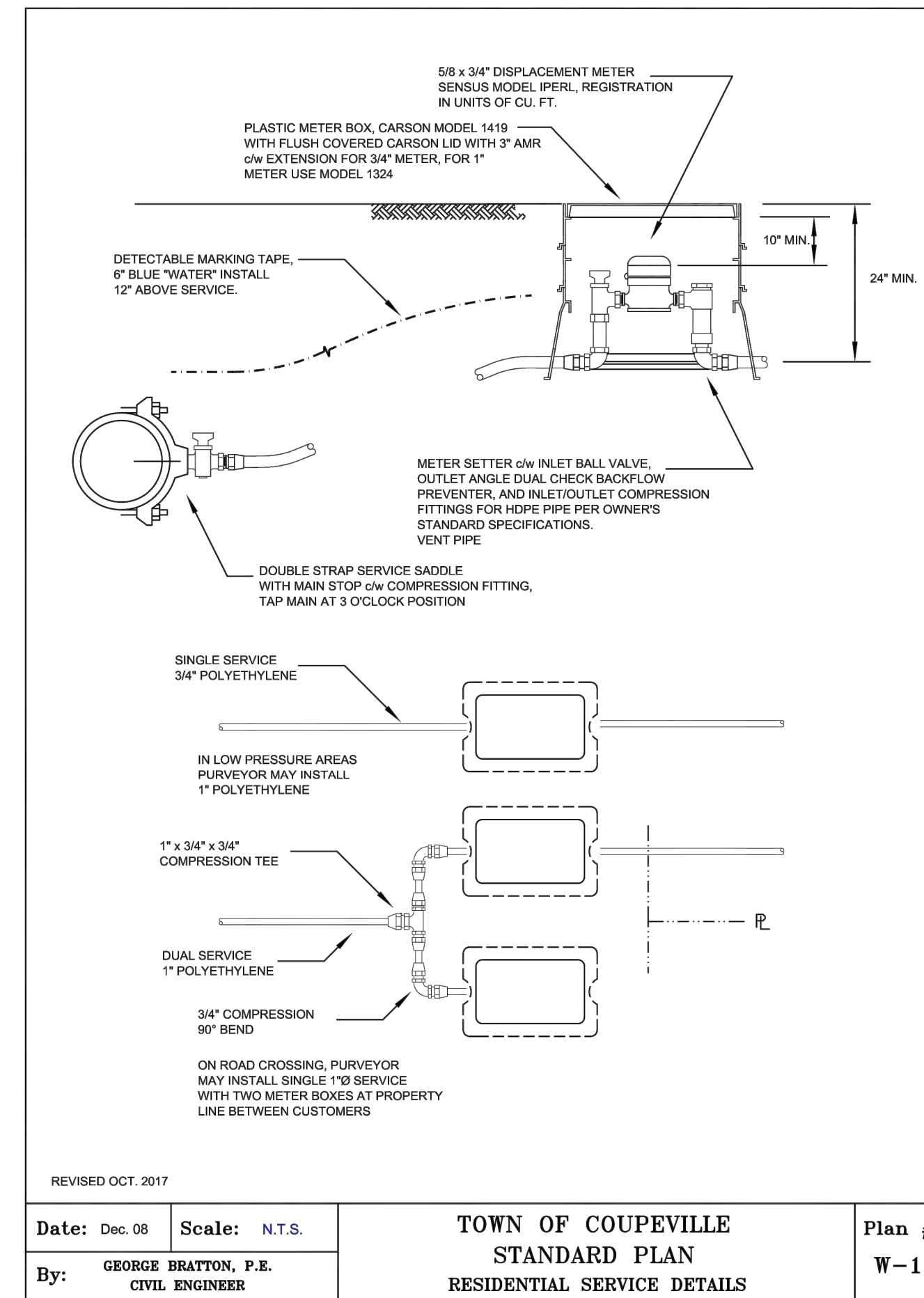
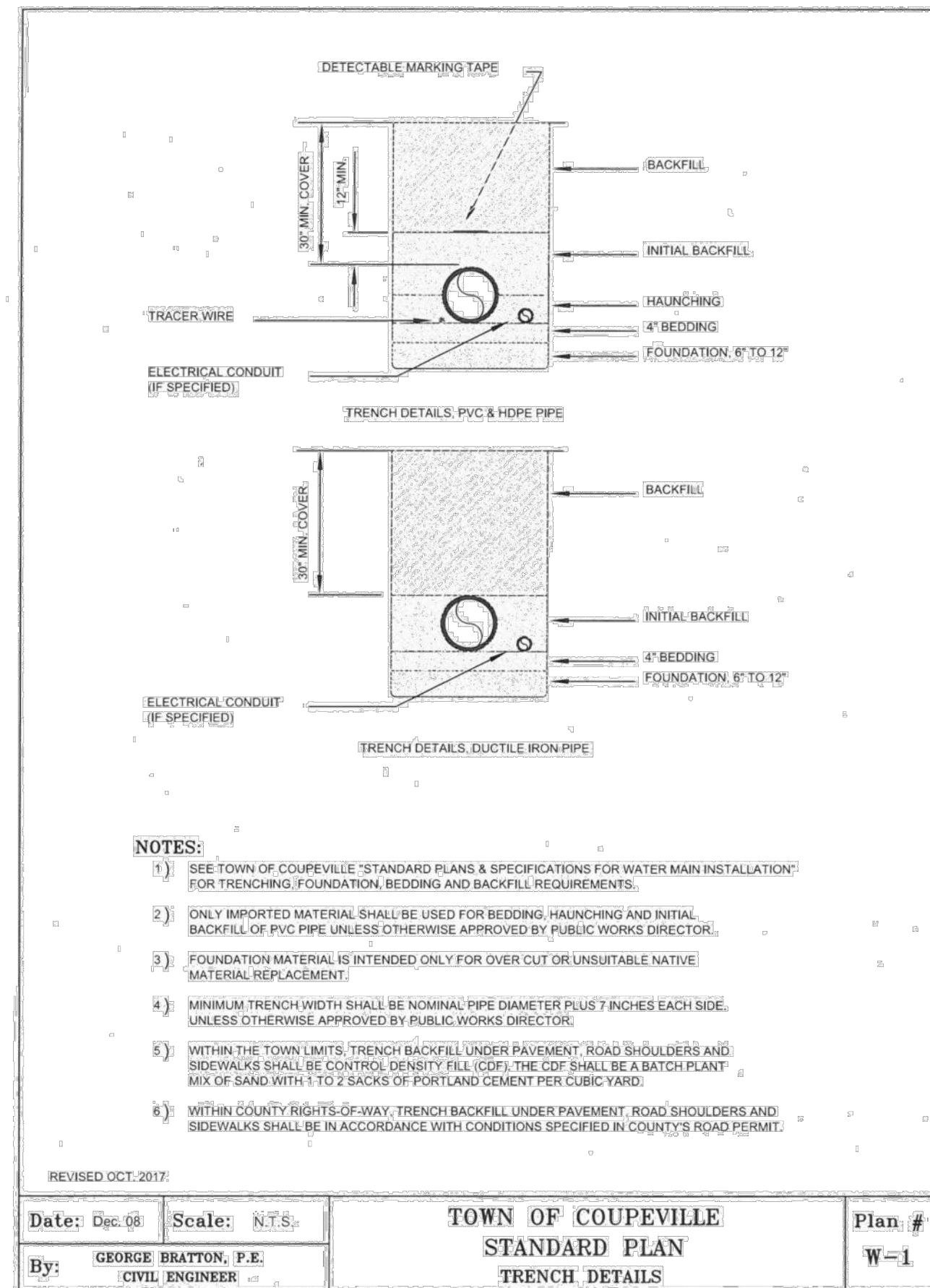
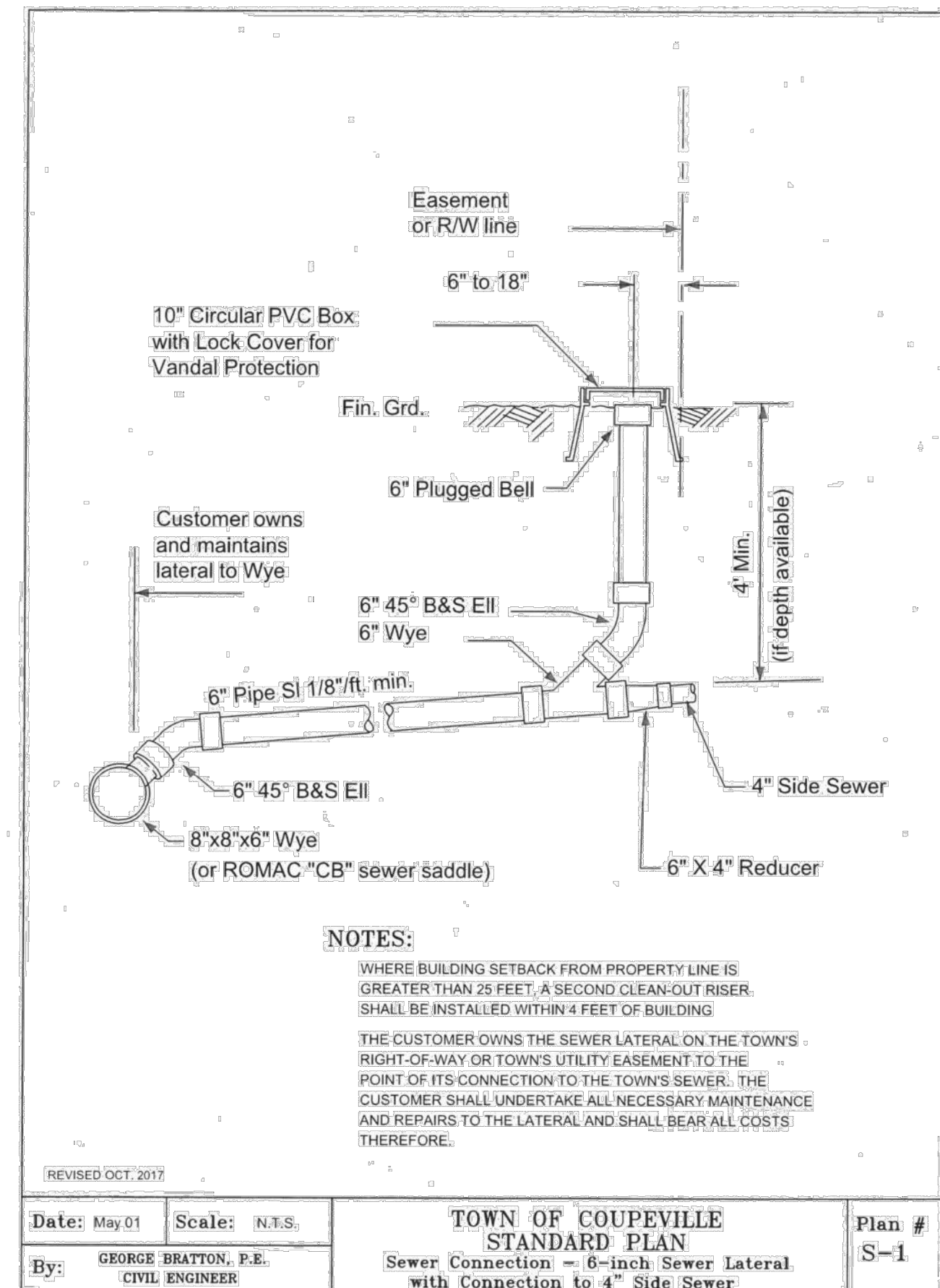
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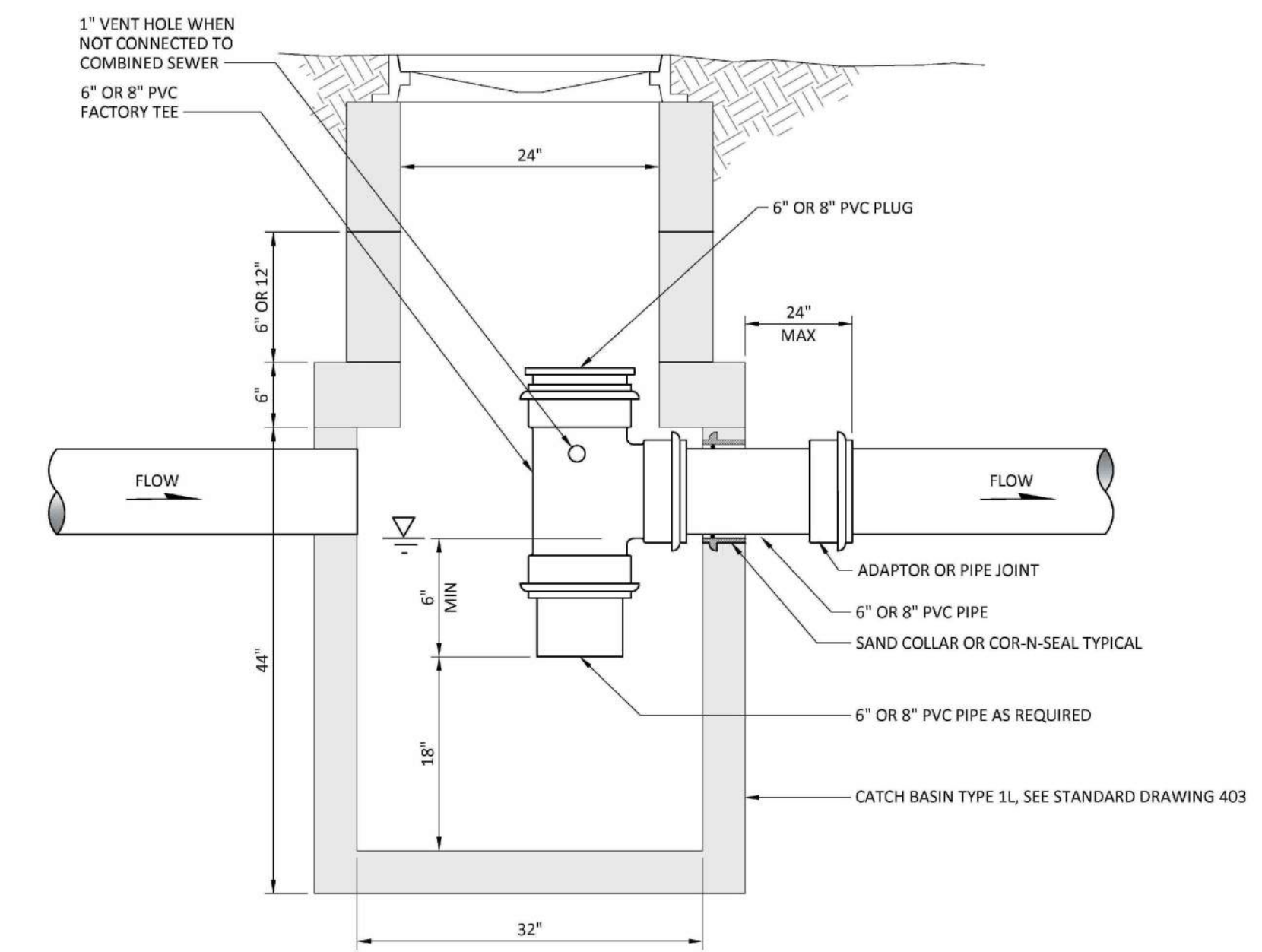
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SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.



NOTE:  
SEE "POROUS CONCRETE NOTES" LOCATED ON SHEET C5 FOR OTHER ADDITIONAL REQUIREMENTS.



LINE MEASURES 1" AT FULL SIZE PLOT

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COUPEVILLE SCHOOL DISTRICT #204  
TENNIS COURT RELOCATION & PARKING IMPROVEMENT  
CONSTRUCTION DETAILS

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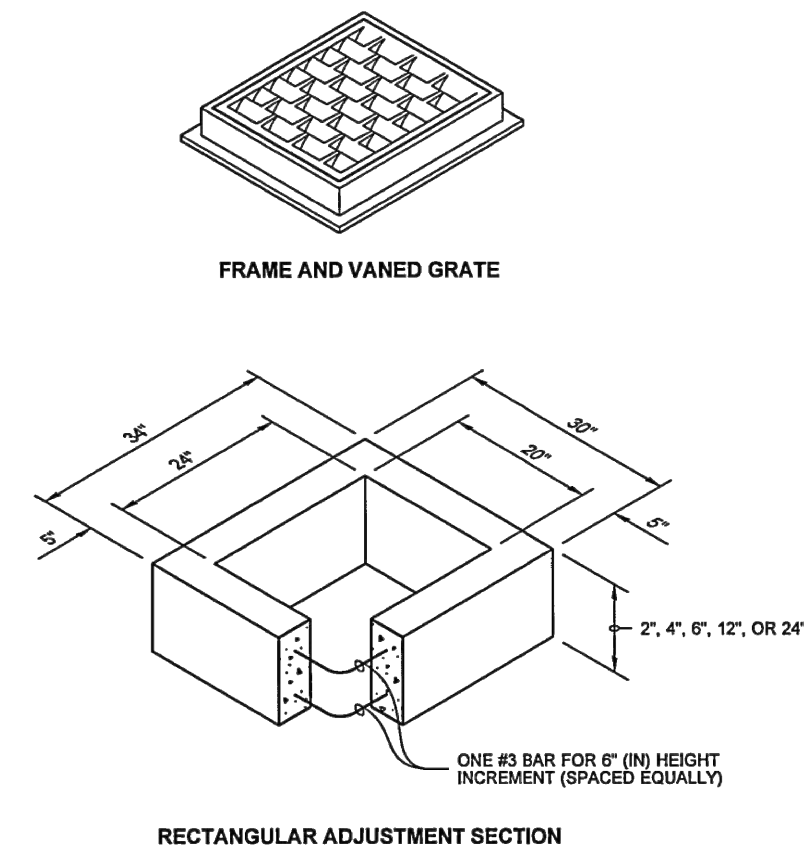
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# SECTION 4, TOWNSHIP 31 NORTH, RANGE 1 EAST, W.M.

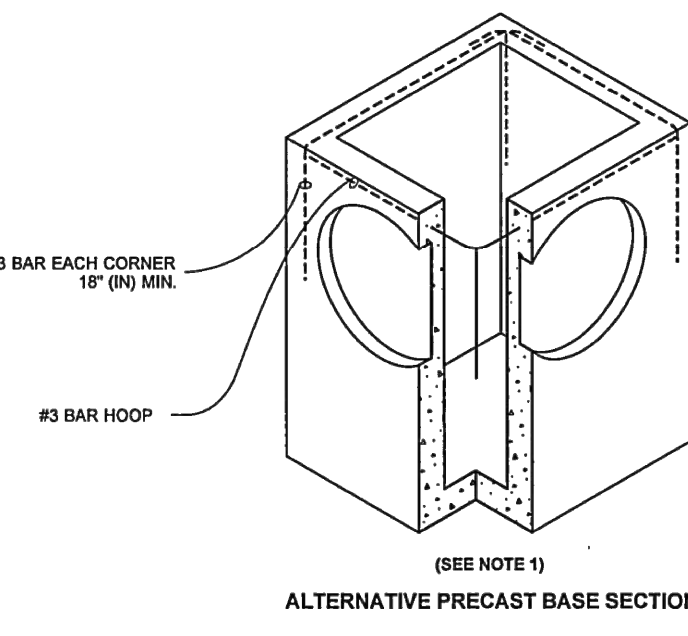
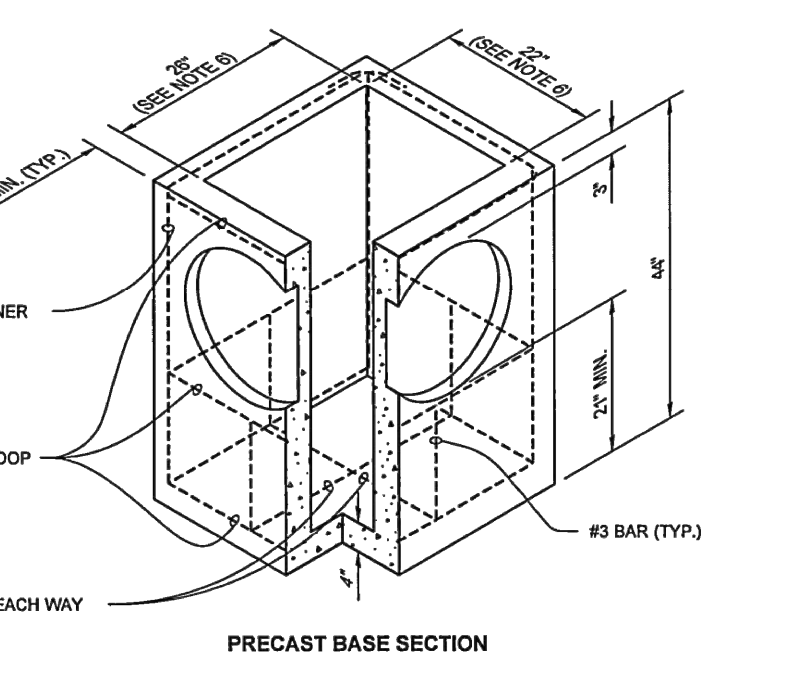
DRAWN BY: LISA CYFORD



PIPE ALLOWANCES	
PIPE MATERIAL	MAXIMUM INSIDE DIAMETER (INCHES)
REINFORCED OR PLAIN CONCRETE	12"
ALL METAL PIPE	15"
CPSP # (STD. SPEC. SECT. 9-05.20)	12"
SOLID WALL PVC (STD. SPEC. SECT. 9-05.12(1))	15"
PROFILE WALL PVC (STD. SPEC. SECT. 9-05.12(2))	15"

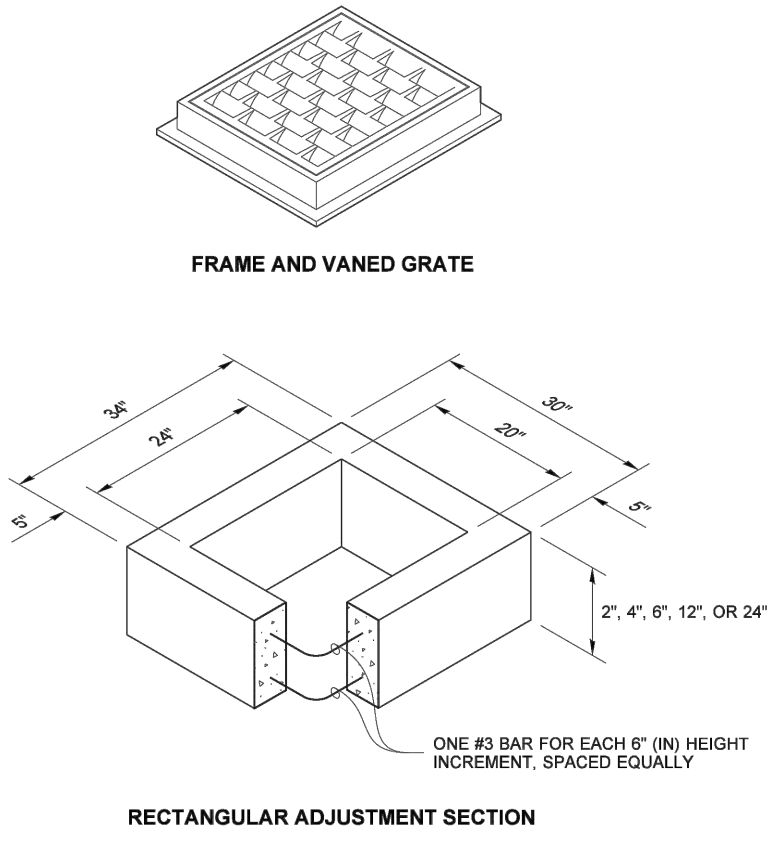
\* CORRUGATED POLYETHYLENE STORM SEWER PIPE

- NOTES**
- As acceptable alternatives to the rebar shown in the PRECAST BASE SECTION, fibers (placed according to the Standard Specifications), or wire mesh having a minimum area of 0.12 square inches per foot shall be used with the minimum required rebar shown in the ALTERNATIVE PRECAST BASE SECTION. Wire mesh shall not be placed in the knockouts.
  - The knockout diameter shall not be greater than 20" (in). Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.
  - The maximum depth from the finished grade to the lowest pipe invert shall be 5' (ft).
  - The frame and grate may be installed with the flange down, or integrally cast into the adjustment section with flange up.
  - The Precast Base Section may have a rounded floor, and the walls may be sloped at a rate of 1 : 24 or steeper.
  - The opening shall be measured at the top of the Precast Base Section.
  - All pickup holes shall be grouted full after the basin has been placed.



Julie Heilman  
Professional Engineer  
CATCH BASIN TYPE 1  
STANDARD PLAN B-5.20-02  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
DATE: 2020.08.24  
STATE DESIGN ENGINEER  
Washington State Department of Transportation

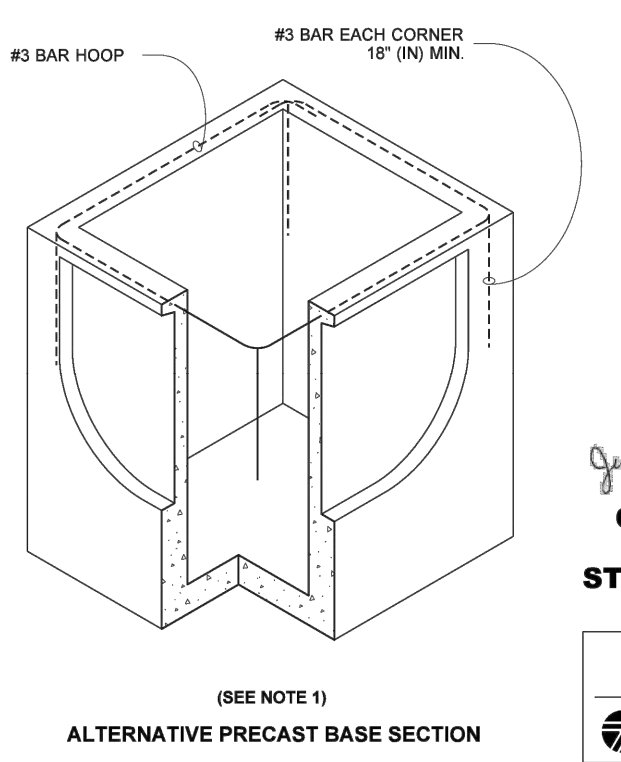
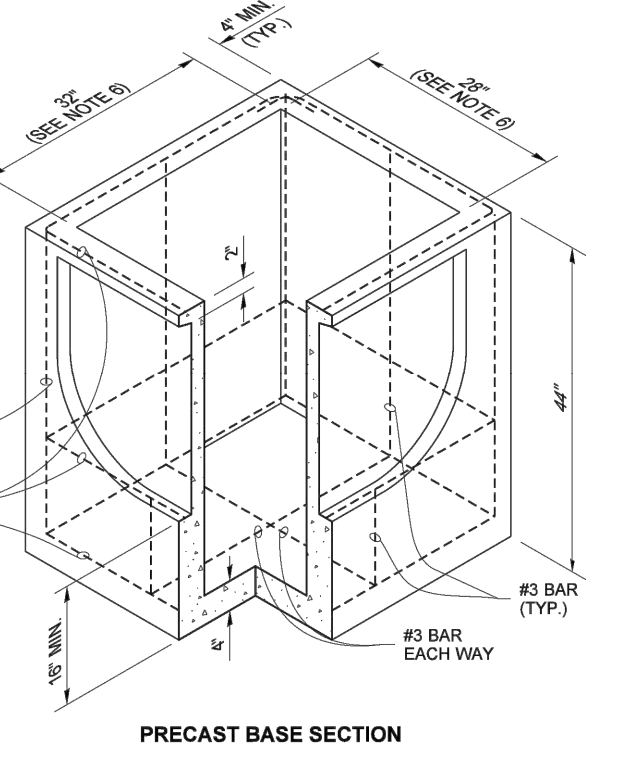
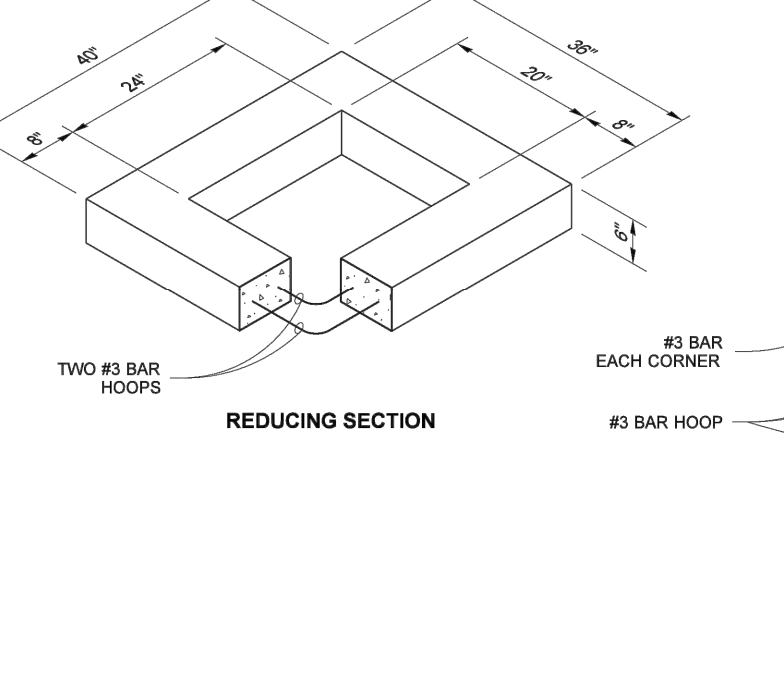
DRAWN BY: LISA CYFORD



PIPE ALLOWANCES	
PIPE MATERIAL	MAXIMUM INSIDE DIAMETER (INCHES)
REINFORCED OR PLAIN CONCRETE	18"
ALL METAL PIPE	21"
CPSP # (STD. SPEC. SECT. 9-05.20)	18"
SOLID WALL PVC (STD. SPEC. SECT. 9-05.12(1))	21"
PROFILE WALL PVC (STD. SPEC. SECT. 9-05.12(2))	21"

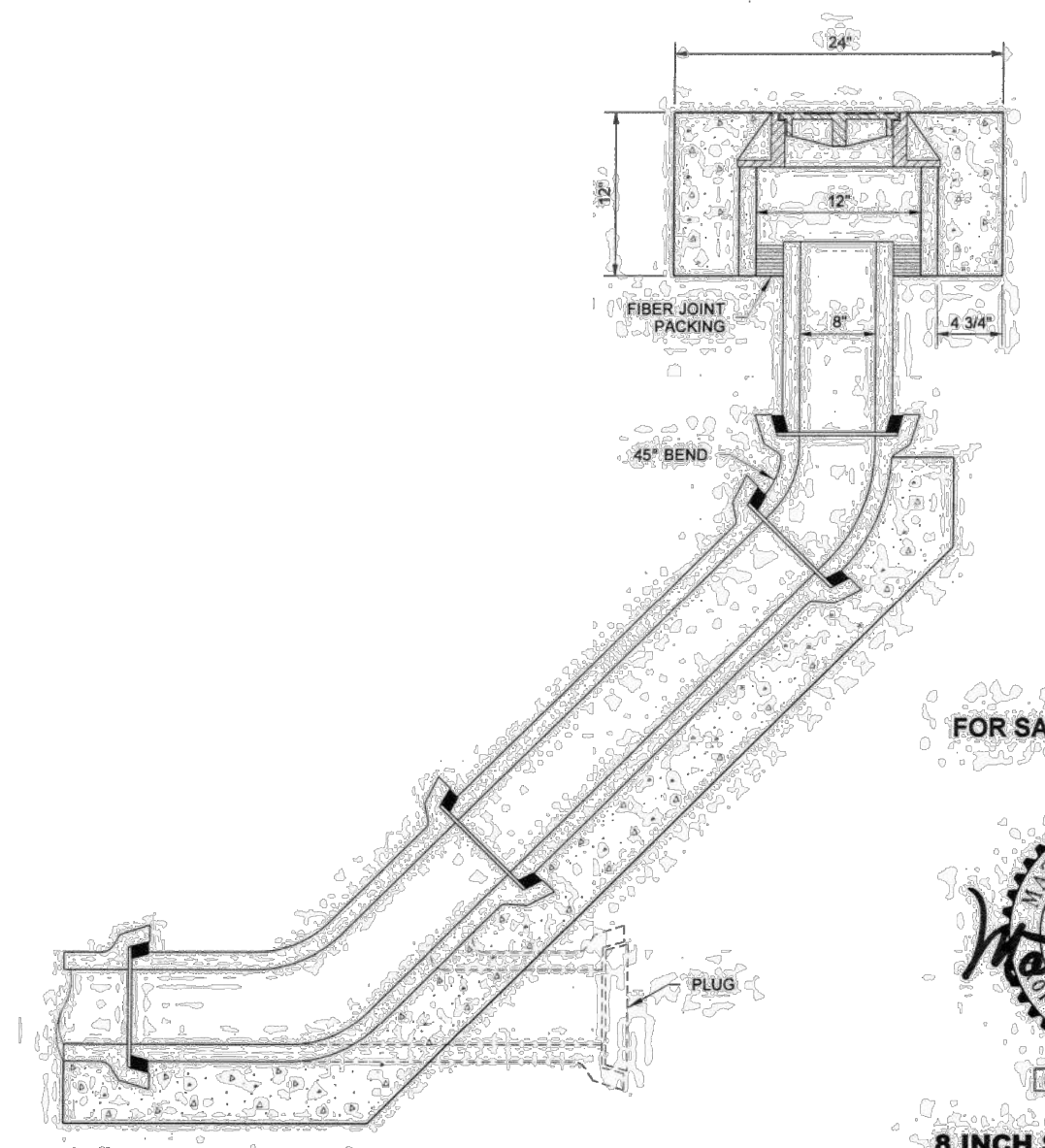
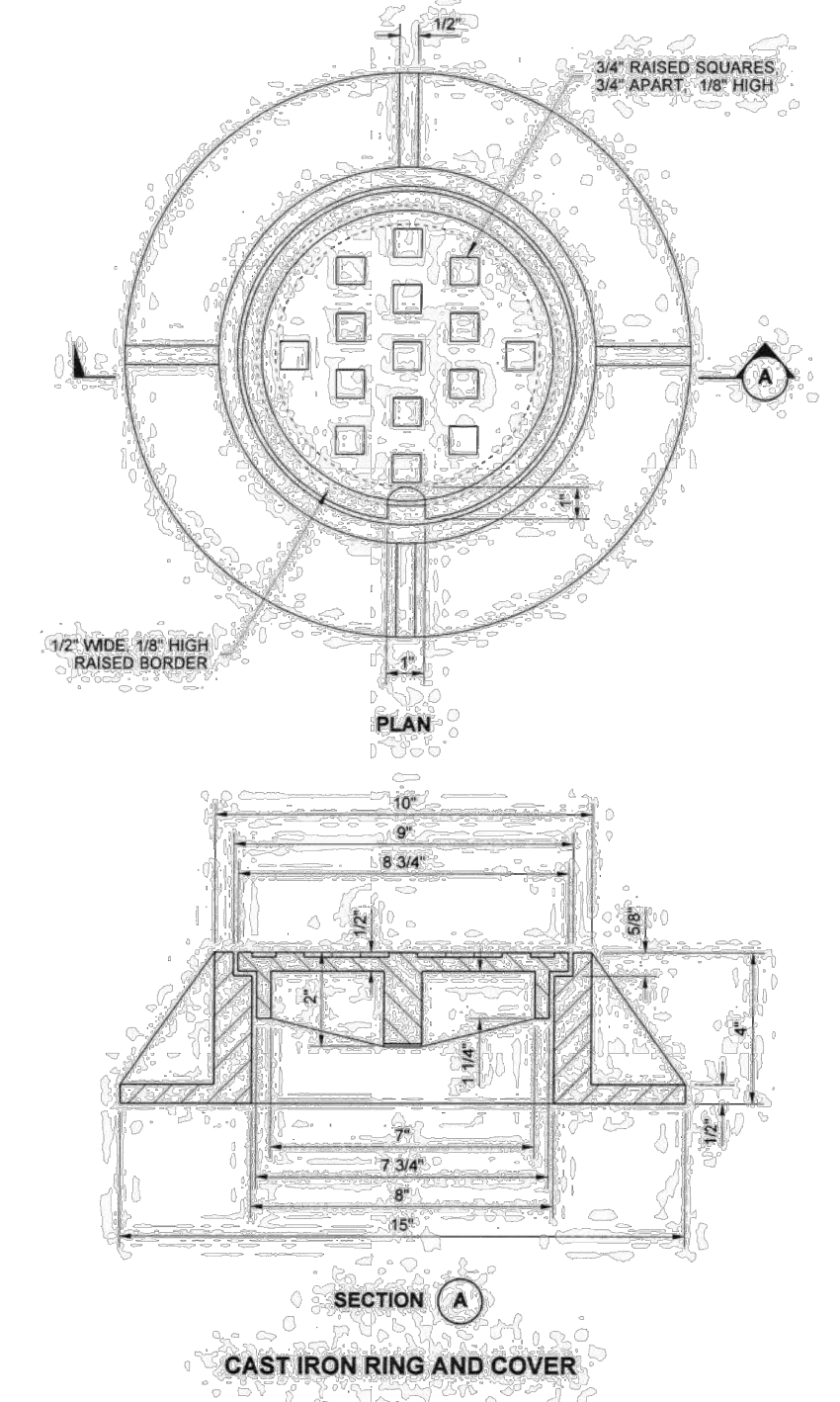
\* CORRUGATED POLYETHYLENE STORM SEWER PIPE

- NOTES**
- As acceptable alternatives to the rebar shown in the PRECAST BASE SECTION, fibers (placed according to the Standard Specifications), or wire mesh having a minimum area of 0.12 square inches per foot, shall be used with the minimum required rebar shown in the ALTERNATIVE PRECAST BASE SECTION. Wire mesh shall not be placed in the knockouts.
  - The knockout shall not be greater than 26" (in), in any direction. Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.
  - The maximum depth from the finished grade to the lowest pipe invert shall be 5' (ft).
  - The frame and grate may be installed with the flange down or integrally cast into the adjustment section with flange up.
  - The Precast Base Section may have a rounded floor, and the walls may be sloped at a rate of 1 : 24 or steeper.
  - The opening shall be measured at the top of the Precast Base Section.
  - All pickup holes shall be grouted full after the basin has been placed.



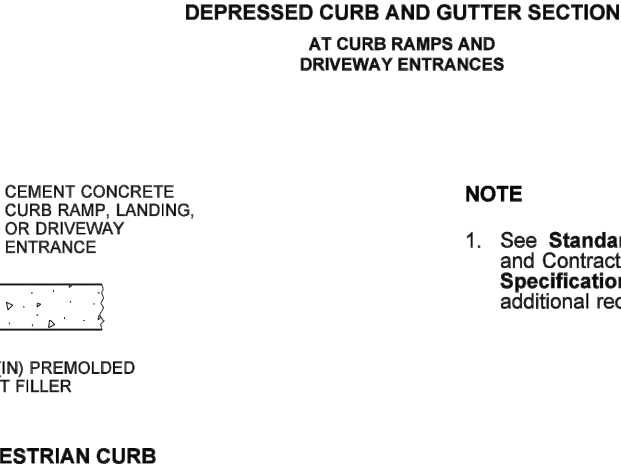
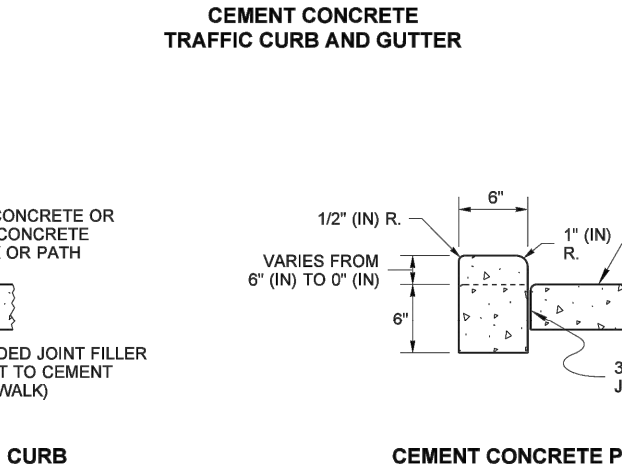
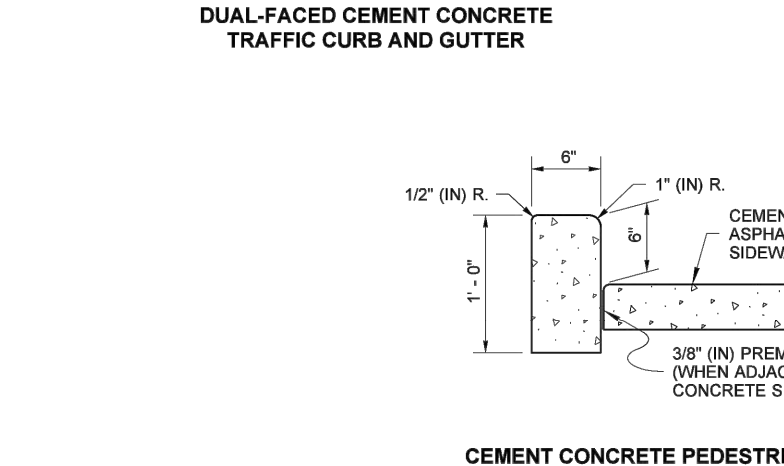
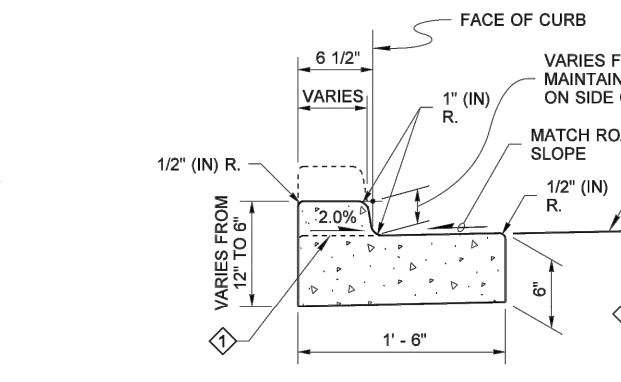
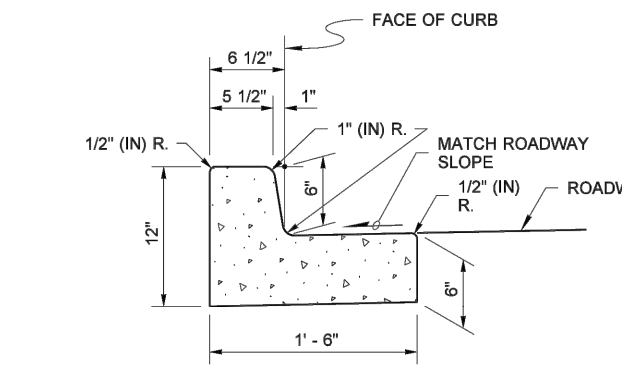
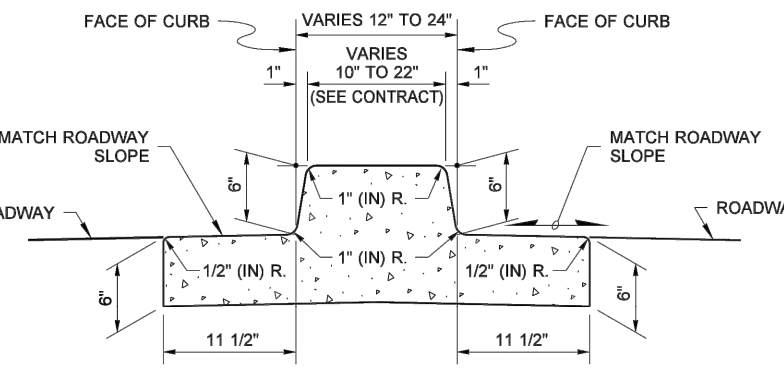
Julie Heilman  
Professional Engineer  
CATCH BASIN TYPE 1L  
STANDARD PLAN B-5.40-02  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
DATE: 2020.08.24  
STATE DESIGN ENGINEER  
Washington State Department of Transportation

DRAWN BY: ADAM COCHRAN



Matthew J. Winters  
Professional Engineer  
8 INCH SEWER CLEAN-OUT  
STANDARD PLAN B-85.40-00  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
DATE: 2020.08.24  
STATE DESIGN ENGINEER  
Washington State Department of Transportation

DRAWN BY: FERN LIDDELL



- NOTE**
- See Standard Plan F-30.10 for Curb Expansion and Contraction Joint Spacing. See Standard Specification, Sections 8-04 and 9-04 for additional requirements.

Michael S. Fleming  
Professional Engineer  
CEMENT CONCRETE CURBS  
STANDARD PLAN F-10.12-04  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
DATE: 2020.08.24  
STATE DESIGN ENGINEER  
Washington State Department of Transportation

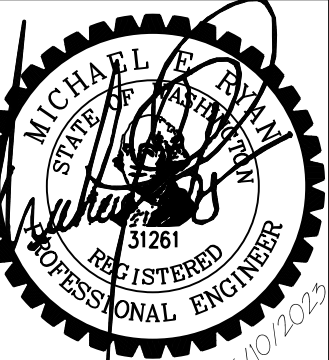
LINE MEASURES 1" AT FULL SIZE PLOT  
IF SHEET SCALE IS OFF, ADJUST SCALE SO THIS LINE EQUALS 1"

VERTICAL DATUM:  
NAVD 88  
DERIVED FROM GPS OBSERVATIONS  
HORIZONTAL DATUM:  
WA COORDINATE SYSTEM NAD 83  
GRID NORTH



## REVISIONS

**HARMSEN ENGINEERS SURVEYORS**  
(360) 675-5973  
(360) 794-7811  
OAK HARBOR, WA 98277



COUPEVILLE SCHOOL DISTRICT #204  
TENNIS COURT RELOCATION & PARKING IMPROVEMENT  
CONSTRUCTION DETAILS

DATE: 05/10/223

JOB #: 22-452



C3.1

**TOPOGRAPHIC SURVEY IN A PORTION OF THE J. ALEXANDER DLC IN THE NORTHEAST QUARTER OF SECTION 4, T 31N, R 1E, W.M.  
TOWN OF COUPEVILLE, ISLAND COUNTY, WASHINGTON**



**SURVEY NOTES**

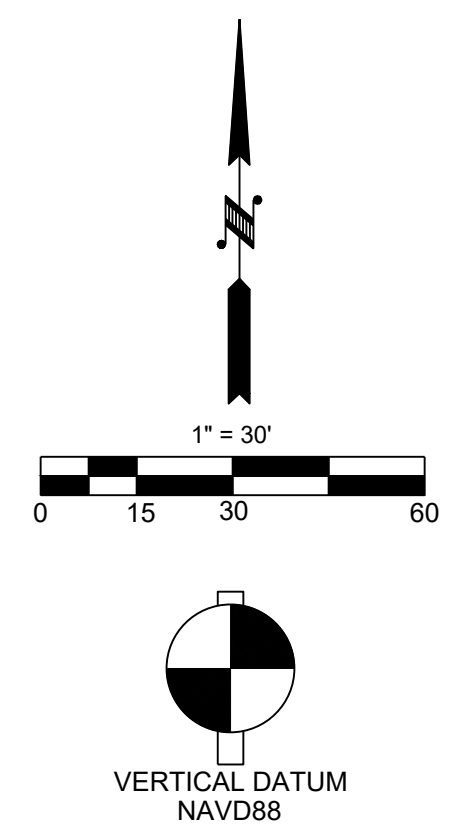
1. BASIS OF BEARINGS: GRID NORTH, WASHINGTON COORDINATE SYSTEM NORTH ZONE, BEING NORTH 1°20'12" EAST BETWEEN FOUND MONUMENTS IN ENGLE ROAD (MAIN STREET) PER THAT SURVEY/BOUNDARY LINE ADJUSTMENT RECORDED DECEMBER 24, 2020, UNDER AUDITOR'S FILE NUMBER 4506263, RECORDS OF ISLAND COUNTY, WASHINGTON.
2. VERTICAL DATUM: NAVD88 BY GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) OBSERVATIONS. ELEVATIONS REPORTED WITHIN THE AREA OF FIELD TOPOGRAPHIC SURVEY EXCEED AND NATIONAL MAPPING STANDARDS ACCURACY OF WITHIN ONE HALF OF THE CONTOUR INTERVAL OF ONE FOOT AS SHOWN HEREON.
3. THIS SURVEY WAS ACCOMPLISHED BY FIELD TRAVERSE WITH A 3-SECOND ELECTRONIC DIGITAL TOTAL STATION AND REAL-TIME KINEMATIC GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) DATA CORRECTED WITH THE WASHINGTON STATE REFERENCE NETWORK.
4. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
5. ALL CONTROLLING MONUMENTS SHOWN ARE OF RECORD, ARE LOCALLY ACCEPTED AS REPRESENTATIVE OF THEIR PURPORTED POSITIONS, AND WERE VISITED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD WHICH MAY ENCUMBER THE SUBJECT PROPERTIES GRAPHICALLY DEPICTED HEREON.
7. UNDERGROUND UTILITY LOCATION SERVICES WERE NOT REQUESTED OR COMPLETED PRIOR TO THIS SURVEY. UTILITY LOCATIONS SHOWN HEREON ARE BASED ON OBSERVED EVIDENCE IN THE FIELD, AND PREVIOUS ASBUILT INFORMATION PREPARED FOR THE COUPEVILLE SCHOOL DISTRICT AVAILABLE FOR REVIEW AT THE TIME OF THIS SURVEY.
8. THE PURPOSE OF THIS SURVEY IS FOR FUTURE SITE DESIGN AND SITE PLANNING EFFORTS.

**TEMPORARY VERTICAL BENCHMARKS**

- TBM 1 TOP OF REBAR WITH CAP MARKED "HARMSSEN CONTROL" SET BETWEEN GRAVEL PATH AND SOUTH EDGE OF ASPHALT OF TERRY ROAD. ELEVATION=104.82 (NAVD88)
- TBM 2 TOP OF NAIL WITH DISK "HAI LS 28074" SET IN ASPHALT ON NORTH SIDE OF TERRY ROAD. ELEVATION= 102.04 (NAVD88)

**LEGEND AND ABBREVIATIONS**

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>⊠ POWER VAULT</li> <li>⊠ POWER METER</li> <li>⊠ POWER POLE</li> <li>⊠ POWER POLE WITH DROP</li> <li>⊠ POLE ANCHOR</li> <li>⊠ LIGHT POLE</li> <li>⊠ TRANSFORMER</li> <li>⊠ POWER PEDESTAL</li> <li>⊠ SANITARY SEWER MANHOLE</li> <li>⊠ STORM TYPE 1 CATCH BASIN</li> <li>⊠ STORM TYPE 2 CATCH BASIN</li> <li>⊠ ROOF DRAIN</li> <li>⊠ WATER METER</li> <li>⊠ WATER VALVE</li> <li>⊠ WATER VAULT</li> <li>⊠ FIRE DEPT CONNECTION</li> <li>⊠ FIRE HYDRANT</li> <li>⊠ IRRIGATION/VALVE BOX</li> <li>⊠ TRAFFIC SIGN</li> <li>⊠ SIGN POST</li> <li>⊠ BOLLARD</li> <li>⊠ GATE POST</li> </ul> | <ul style="list-style-type: none"> <li>○ FOUND REBAR AS DESCRIBED</li> <li>⊠ FOUND PLAT MONUMENT AS DESCRIBED</li> <li>⊠ TEMPORARY VERTICAL BENCHMARK</li> <li>⊠ CALCULATED POSITION</li> <li>— WATER LINE</li> <li>— OP OVERHEAD POWER</li> <li>— SD STORM DRAIN</li> <li>— SS SEWER LINE</li> <li>— FENCE LINE</li> <li>— CALCULATED PROPERTY LINE</li> <li>— RIGHT-OF-WAY LINE</li> <li>— RIGHT-OF-WAY CENTERLINE</li> <li>— ADJOINING PROPERTY/ PLAT LINE</li> </ul> |
|--|--|
- AFN - AUDITOR'S FILE NUMBER  
 APN - ASSESSOR'S PARCEL NUMBER  
 CB - CATCH BASIN  
 CO - CLEAN OUT  
 CONC - CONCRETE  
 CMP - CORRUGATED METAL PIPE  
 CPP - CORRUGATED PLASTIC PIPE  
 DIA - DIAMETER  
 DLC - DONATION LAND CLAIM  
 FT - FOOT  
 GE - GRATE ELEVATION  
 IE - INVERT ELEVATION  
 MPH - MILES PER HOUR  
 MON - MONUMENT  
 PVC - POLYVINYL CHLORIDE  
 SD - STORM DRAIN  
 SS - SANITARY SEWER  
 SSMH - SANITARY SEWER MANHOLE  
 W - WATER



**STORM STRUCTURE DATA**

STRUCTURE ID	G.E.	I.E.	PIPE DIA.	PIPE TYPE	DIRECTION	MD
CB 1266	96.68	REVISED GRATE ELEVATIONS +4.04'				
CB 1271	96.08					
CB 1303	96.34					

NOTE: STORM SEWER AND SANITARY SEWER WERE NOT MEASURED AS PART OF THE TOPOGRAPHIC SURVEY, TABLE SHOWS STRUCTURE GRATE ELEVATIONS FOR MEASURED DOWN DATA IF REQUIRED.

R13104-394-3370  
SCHOOL DISTRICT NO. 204

R13104-373-3330  
ARNOLD

R13104-385-3710  
SCHOOL DISTRICT NO. 204

R13104-287-2760  
ENGLE

S7246-00-00008-0  
RICH

S7246-00-00009-0  
GRIFFIN

S7246-00-00010-0  
CEDILLO

S7246-00-00011-0  
BRONSO

PLAT OF JENNE'S HOMESITE

**REVISIONS**

**HARMSSEN ENGINEERS SURVEYORS**  
 (360) 675-5973  
 (360) 794-7811  
 FAX: (360) 675-7255

**HARMSSEN**  
 840 SE 8th AVENUE, SUITE 102  
 OAK HARBOR, WA 98277

**COUPEVILLE SCHOOL DISTRICT TOPOGRAPHIC SURVEY**  
**WEST CAMPUS GYMNASIUM AREA**  
 R13104-385-3710

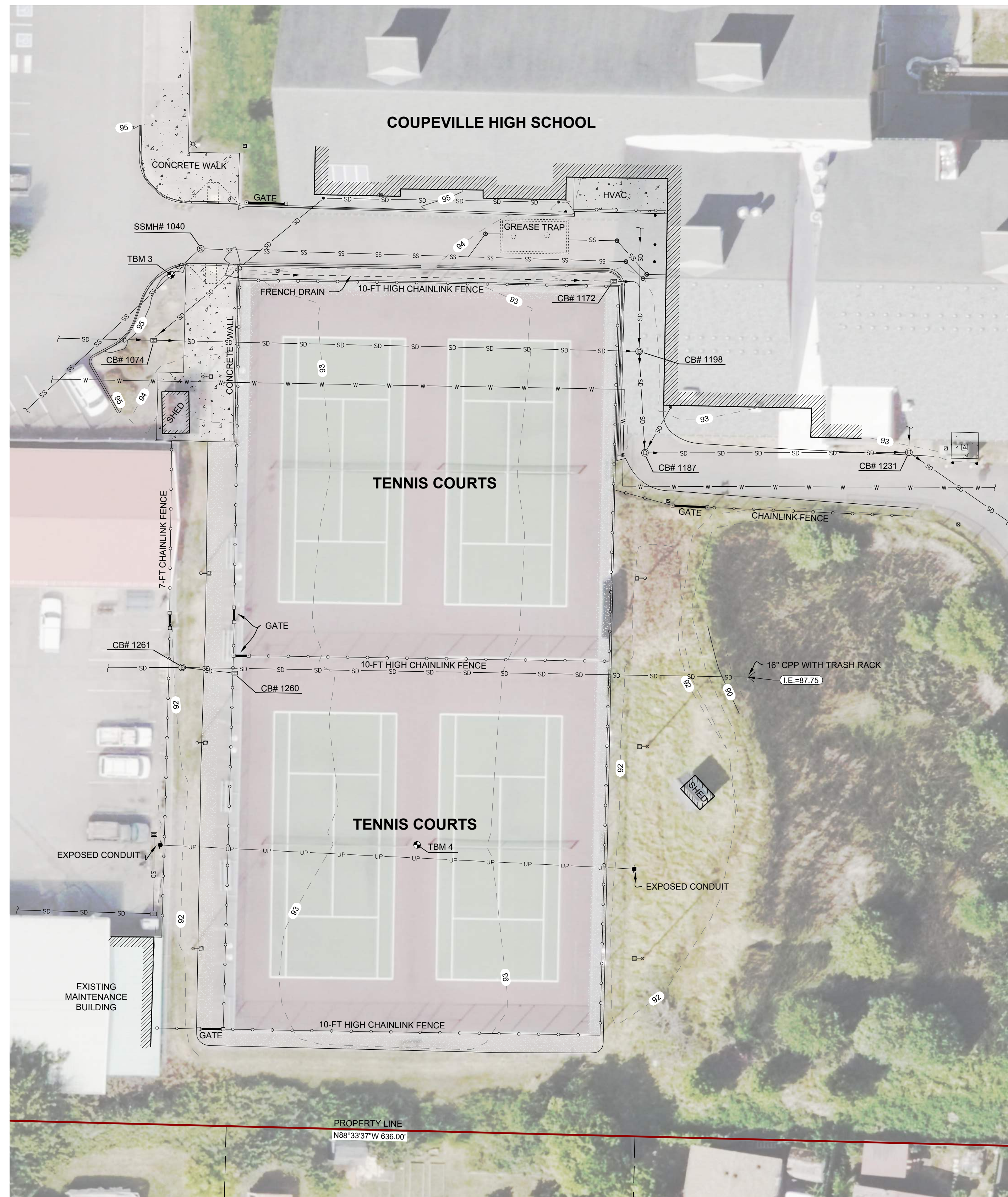
DWN. BY: JTF  
 CHK. BY: TJP  
 DATE: 2/24/23  
 JOB #: 22-452  
 SCALE: 1"=30'



**S-1.0**

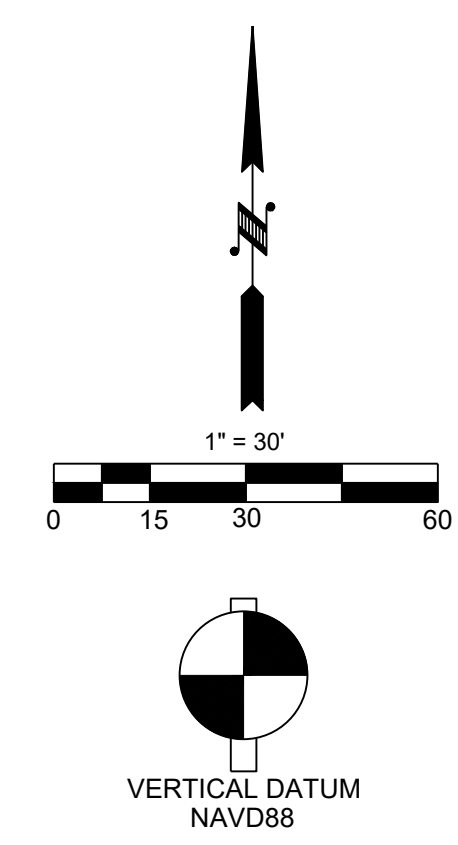
**PRELIMINARY-FOR REVIEW**

TOPOGRAPHIC SURVEY IN A PORTION OF THE J. ALEXANDER DLC IN THE NORTHEAST QUARTER OF SECTION 4, T 31N, R 1E, W.M.  
TOWN OF COUPEVILLE, ISLAND COUNTY, WASHINGTON



LEGEND AND ABBREVIATIONS

- POWER VAULT
- POWER METER
- POWER POLE
- POWER POLE WITH DROP
- POLE ANCHOR
- LIGHT POLE
- TRANSFORMER
- POWER PEDESTAL
- SANITARY SEWER MANHOLE
- SANITARY CLEANOUT
- STORM TYPE 1 CATCH BASIN
- STORM TYPE 2 CATCH BASIN
- ROOF DRAIN
- WATER METER
- WATER VALVE
- WATER VAULT
- FIRE DEPT CONNECTION
- FIRE HYDRANT
- IRRIGATION/VALVE BOX
- TRAFFIC SIGN
- SIGN POST
- BOLLARD
- GATE POST
- UTILITY JUNCTION BOX
- IRRIGATION/VALVE BOX
- FLOW ARROW
- FOUND REBAR AS DESCRIBED
- FOUND PLAT MONUMENT AS DESCRIBED
- TEMPORARY VERTICAL BENCHMARK
- CALCULATED POSITION
- W — WATER LINE
- OP — OVERHEAD POWER
- SD — STORM DRAIN
- SS — SEWER LINE
- F — FENCE LINE
- C — CALCULATED PROPERTY LINE
- R — RIGHT-OF-WAY LINE
- CR — RIGHT-OF-WAY CENTERLINE
- A — ADJOINING PROPERTY/PLAT LINE
- AFN - AUDITOR'S FILE NUMBER
- APN - ASSESSOR'S PARCEL NUMBER
- CB - CATCH BASIN
- CO - CLEAN OUT
- CONC - CONCRETE
- CMP - CORRUGATED METAL PIPE
- CPP - CORRUGATED PLASTIC PIPE
- DIA - DIAMETER
- DLC - DONATION LAND CLAIM
- FT - FOOT
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- MPH - MILES PER HOUR
- MON - MONUMENT
- PVC - POLYVINYL CHLORIDE
- SD - STORM DRAIN
- SS - SANITARY SEWER
- SSMH - SANITARY SEWER MANHOLE
- W - WATER



TEMPORARY VERTICAL BENCHMARKS

- TBM 3 TOP OF WOOD HUB WITH MAGNETIC NAIL SET BEHIND BACK OF CURB WEST OF CONCRETE WALK. ELEVATION = 94.81(NAVD88)
- TBM 4 TOP OF MAGNETIC NAIL SET BETWEEN SOUTHERLY TENNIS COURT NETS. ELEVATION = 93.19

STORM STRUCTURE DATA

STRUCTURE ID	G.E.	I.E.	PIPE DIA.	PIPE TYPE	DIRECTION
CB 1074	94.38	90.33	6"	PVC	NORTHEAST
TYPE 1L		89.55	18"	CPP	WEST
		89.58	18"	CPP	EAST
CB 1172	92.66	91.14	4"	PVC	WEST
TYPE 1		91.04	6"	PVC	EAST
CB 1187	92.41	90.40	6"	PVC	NORTHEAST
TYPE II		88.81	18"	CPP	NORTH
		88.73	18"	CPP	EAST
CB 1198	92.65	89.62	6"	PVC	NORTH
TYPE II		88.97	18"	CPP	SOUTH
		89.00	18"	CPP	WEST
CB 1231	92.73	91.34	6"	PVC	NORTH
TYPE II		88.51	8"	CPP	WEST
		88.40	18"	CPP	SOUTHEAST
CB 1260	92.65	91.27	6"	PVC	WEST
TYPE 1					
CB 1261	92.36	87.59	6"	PVC	SOUTHEAST
TYPE II		86.69	18"	CPP	EAST
CONTROL MH		86.71	18"	CPP	WEST
		90.32			TOP OF OVERFLOW TEE

SANITARY SEWER DATA

STRUCTURE ID	G.E.	I.E.	PIPE DIA.	PIPE TYPE	DIRECTION
SSMH 1040	94.63	NA	NA	NA	EAST
		NA	NA	NA	WEST

NOTE: SANITARY SEWER MANHOLE NOT MEASURED AS PART OF THE TOPOGRAPHIC SURVEY. TABLE SHOWS STRUCTURE GRATE ELEVATION FOR MEASURED DOWN DATA IF REQUIRED.

REVISIONS

**HARMSEN ENGINEERS SURVEYORS**  
 (360) 675-5973  
 (360) 794-7811  
 FAX: (360) 675-7255

840 SE 8th AVENUE, SUITE 102  
 OAK HARBOR, WA 98277

COUPEVILLE SCHOOL DISTRICT  
 TOPOGRAPHIC SURVEY  
 SOUTHEAST TENNIS COURT AREA  
 R13104-385-3710

DWN. BY:	JTF
CHK. BY:	TJP
DATE:	2/24/23
JOB #:	22-452
SCALE:	1"=20'



**PRELIMINARY-FOR REVIEW**

**S-2.0**



## Ebey's Landing National Historical Reserve

### Certificate of Appropriateness

Doug Cole

1206 NE Moore Pl., Coupeville, WA

COA-23-023

Level A or B (HPC review requested)

Level C

Jurisdiction:

Town of Coupeville

### I – PROJECT SUMMARY and BACKGROUND

The applicant requests a Certificate of Appropriateness for a proposal to construct a new single-family residence at 1206 NE Moore Pl. The proposed building has a footprint of 1,180 sq. ft. The proposed building is constructed of cedar tongue-and-groove siding, vertical board and batten siding (which replaces the steel panel siding shown in the application materials), small amounts of metal siding to match the metal roof and shed style windows pointed towards Penn Cove. The proposed building consists of two “modules” connected by an entry way. The proposed residence is not visible from any public roads. However, the residence is along the shore and visible from Penn Cove.

### II – PERMIT DATA

<b>Building or Land Use Permit Type</b>	Certificate of Appropriateness
<b>Application Number</b>	COA-23-023
<b>Application Date</b>	May 4, 2023
<b>Applicant/Owner</b>	Doug Cole / Wenche Friis

### III – SITE DATA

<b>Address</b>	Vacant Lot – 1206 NE Moore Pl.			
<b>Location</b>	Waterfront, South side of Penn Cove - Review Area 1			
<b>Parcel Number(s)</b>	S7205-00-00007-1			
<b>Size of parcel(s)</b>	0.44 Acres			
<b>Historic Structure?</b>	Yes		No	<b>X</b>
<b>Proximity to Historic Structures?</b>	Yes		No	<b>X</b>
<b>Zoning Designation</b>	Low Density Residential (LDR)			
<b>Critical Areas/Overlays?</b>	Yes	<b>X</b>	No	
<b>Shoreline Jurisdiction?</b>	Yes	<b>X</b>	No	
<b>NPS Easements?</b>	Yes		No	<b>X</b>
<b>Heritage Farm Plan?</b>	<b>No</b>			

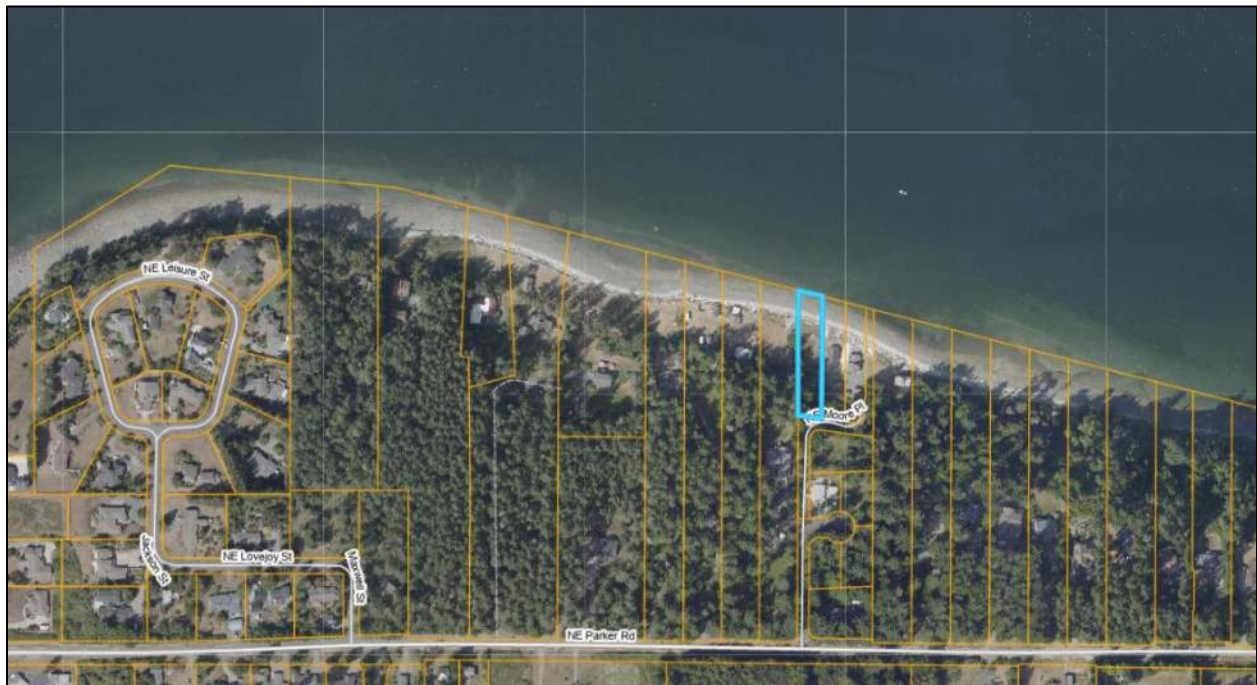


Figure 1: General Project Location

### IV – STAFF CONTACTS

<b>Title</b>	<b>Name</b>	<b>Phone</b>	<b>E-mail</b>
Assistant Planner	Joshua Engelbrecht	360-678-4461 Ext 104	assistantplanner@townofcoupeville.org



## **V. DISCUSSION**

The guidelines for new construction and for single residences primarily seek to ensure that the scale, mass, size, materials, and color of the proposed project are consistent with existing buildings within the local surrounding neighborhood. In Staff’s view, the proposed single-family building achieves the intent of the guidelines.

An area of conflict within our design guidelines is the suggestion that:

“New construction, particularly in Review Area 1, should continue the historical pattern of development with buildings that are compatible with their neighbors in terms of scale, massing, materials, and color”,

while also suggesting that:

“Building shapes should be compatible to historic residential structures and use gable and hipped roofs as primary roof forms”.

While in most neighborhoods within the Town both guidelines can coexist, in this particular instance, they are opposed. While none are designated as historic structures within the Reserve’s Inventory, the older buildings that face Penn Cove in this area of Moore Place have a wide variety of styles, windows, and roof lines.



*Figure 2: Neighboring Properties (looking east)*

The proposed building includes shed style roofs and large portions of glass along the north side of the building. While those roof forms and window types are generally not found in the historic resources of the Reserve, they are common as part of the local neighborhood.

Overall, staff believes this project complies with the Ebey’s Landing National Historical Reserve Design Guidelines.

## VI. APPLICABLE DESIGN GUIDELINES

### SECRETARY OF THE INTERIOR'S STANDARDS

<b>The Secretary of the Interior's Standards apply:</b>	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/> X
---	-----	--------------------------	----	---------------------------------------

This project is not within 100 ft. of any historic resources within Ebey's Landing National Historical Reserve.

### DESIGN GUIDELINES

Staff has identified the following design guidelines as particularly relevant to the proposal.

#### **CHAPTER 4.6 – New Construction**

**Guiding Principle:** New development should respect the Reserve's rural character. A successful new building will have compatible scale, massing, size, materials, and color that allow it to blend into its site.

#### **4.6.1 – Architectural Character**

<b>Guideline</b>	<b>Staff Analysis</b>
4.6.1.1	<p><i>The proposed building is approximately 1,180 Sq. ft. The average footprint of the buildings within 200 ft. of the project is 1,075.9 q. ft. The proposed building is approximately 104 sq. ft. larger than the average.</i></p> <p><i>The proposed building is broken up into two square “modules” with a connecting entryway.</i></p>
4.6.1.2 - 4.6.1.4	<p><i>There are no historic resources within the general vicinity. The proposed building is a similar scale to adjacent buildings. The proposed building consists of cedar siding and dark board and batten siding which is appropriate for new construction.</i></p> <p><i>The proposed building in a clear area between the beach and wooded hills. However, the proposal will require some mitigation plantings along the north side of the property to meet shoreline permit mitigation requirements.</i></p>
4.6.1.5 - 4.6.1.7	<p><i>Both rooflines feature a shed style roof oriented north.</i></p> <p><i>Proposed buildings are not prefabricated. The surrounding buildings feature a variety of roof types and large floor to ceiling windows. This proposal generally matches the existing development pattern along NE Moore Pl. and is compatible in terms of material, scale, mass, and size.</i></p> <p><i>The form of this building is distinct from the surrounding buildings, however, other Guidelines (4.6.1.1) prefer to break up buildings to give the appearance of a cluster of buildings.</i></p>
4.6.1.8	<p><i>A future garage/ADU is proposed to be landward of the proposed building which is consistent with the nearby buildings on Moore Pl.</i></p> <p><i>Heavy vegetation is present along the south of the property (as part of the steep slope) and plantings will be required as part of the shoreline permit mitigation requirements.</i></p>

#### **CHAPTER 4.6.4 – New Residential Construction**

**Guiding Principles:** Much of the Town of Coupeville has a relatively dense development pattern and some areas contain a significant number of historic buildings. New construction, particularly in Review Area 1, should continue the historical pattern of development with buildings that are compatible with their neighbors in terms of scale, massing, materials, and color.

Guideline	Staff Analysis
4.6.4.1	<i>The project is within Review Area 1. The project is not within close proximity to any historic resources and uses similar design features of the surrounding buildings.</i>
4.6.4.2	<i>The proposed building reflects the architectural character of the surrounding buildings.</i>
4.6.4.3 – 4.6.4.11	<p><i>The building is not within 100 ft. of any historic resources.</i></p> <p><i>The Moore Pl. Neighborhood has a wide variety of designs across the shore facing buildings. The proposed building is effectively broken up into two smaller buildings.</i></p> <p><i>A detached garage is a future consideration for this property and matches the orientation of other Moore Pl. properties with the garage landward of the principal building.</i></p> <p><i>The roofline for the proposed structure is shed style. While not listed as a primary roof form, shed style roofs exist within the Reserve and in the Moore Pl. neighborhood.</i></p> <p><i>The building has a recessed entry and porch along the eastern side of the building which functions as the front entry.</i></p> <p><i>This property is accessed via an easement. The lower section of Moore Pl, a private street, is essentially a driveway as it descends the steep slopes to provide access to these properties. Orientation towards the water is a more common orientation and fits within the surrounding neighborhood context.</i></p> <p><i>The proposed building is 104 sq. ft. larger than the average of the nearby buildings. Staff believes this is an acceptable range.</i></p>
4.6.4.12	<p><i>The nearby properties also contain large picture windows oriented toward the water as well as windows that wrap around the sides of the building.</i></p> <p><i>The proposed windows are generally proportional with each other and the ratio of wall to window of the surrounding buildings is similar</i></p>
4.6.4.13	<i>The applicant is proposing vinyl or aluminum clad wooden windows.</i>
4.6.4.14 – 4.6.4.21	<p><i>The proposed buildings incorporate a front stoop along NE Birch St. and visible trim around the windows and corners of each of the buildings.</i></p> <p><i>The northern and southern façade are modulated by changes in roof orientation and by the incorporation of recessed balconies and patios.</i></p>

4.6.4.15 – 4.6.4.16	<i>The front of the buildings along Moore Pl. is generally the water side. At this time there is no proposed garage. A future garage is expected to be landward of the proposed building.</i>
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**CHAPTER 4.7 – PAINTING AND COLORS**

**Guiding Principle:** Paint serves both to protect wood from the weather and to add a decorative element to the building and the streetscape. Proper maintenance of painted surfaces is important to preserving houses and their architectural features. Choosing the right colors is one of the most effective ways to protect our heritage landscape. Color dramatically affects the perceived scale of a building and how well it blends into its surroundings.

The varied landscapes of the Reserve call for varied approaches to color, and the recommended color palettes are tailored for various areas. There is little record of the original colors of the buildings in Coupeville, but old photographs show that most buildings were white or light in color, sometimes with darker trim. Coupeville’s New England roots led to buildings of generally simple design with simple paint schemes.

<b>Guideline</b>	<b>Staff Analysis</b>
4.7.1 - 4.7.14	<p><i>The proposed building consists of one “module” that is dark earth toned colors that are appropriate for new construction and non-historic buildings and another “module” that consists of natural cedar siding.</i></p> <p><i>The proposal does not include any bright, neon, fluorescent colors.</i></p>

## **VII. RECOMMENDED MOTION**

Based on the record developed to date, including application materials, staff report, evidence presented, and comments made at the public meeting, and finding application to COA-23-023 to be consistent with the Ebey's Landing National Historic Reserve Design Guidelines, I move to recommend granting a Certificate of Appropriateness.

## **VIII. FINDINGS OF FACT AND CONCLUSIONS OF LAW**

Based on the analysis presented above, staff proposes the following findings of fact with respect to Application No. COA-22-071

1. An application was submitted for a Certificate of Appropriateness on May 4, 2023 for the construction of a new single-family residence.
2. The site is within Review Area 1 of Ebey's Landing National Historical Reserve and is classified as new construction within Review Area 1 requiring action on a Certificate of Appropriateness by the Historic Preservation Commission.
3. On May 30, 2023 the Ebey's Reserve Committee reviewed the application and found it to be consistent with the applicable Ebey's Landing National Historical Reserve Design Guidelines.
4. In accordance with Chapter 16.13 of the Coupeville Town Code, the Historic Preservation Commission reviewed the application in an open and duly advertised public meeting on June 8, 2023, and all wishing to be heard were heard.
5. In accordance with Guidelines in Chapter 4.6.1 the buildings are compatible in scale, massing, size, materials, and color.
6. In accordance with guidelines in Chapter 4.6.5 the proposed buildings are sensitive to the surrounding buildings and incorporate common elements found elsewhere in the Reserve.
7. After review of the proposed application and consideration of public comment and staff's recommendation, the Historic Preservation Commission finds the application consistent with the applicable Ebey's Landing National Historical Reserve Design Guidelines subject to conditions.

## **IX. APPEAL PROCESS**

A decision to approve, conditionally approve, or deny a Certificate of Appropriateness may be appealed as an administrative determination, together with the associated permit, in conformance with the appeal procedures set forth in Coupeville Town Code Chapter 2.52 and Sections 16.06.060 and 16.13.080.

# Exhibit A

COA Application Materials



## Ebey's Landing National Historical Reserve Certificate of Appropriateness Application

**REVIEWED TO THE EBHEY'S LANDING HISTORICAL RESERVE DESIGN GUIDELINES BY ISLAND COUNTY (Island County Code 17.04A) AND THE TOWN OF COUPEVILLE (Coupeville Town Code Chapter 16.13) IN COOPERATION WITH THE TRUST BOARD OF EBHEY'S LANDING NATIONAL HISTORICAL RESERVE AND THE HISTORIC PRESERVATION COMMISSION**

I, the undersigned, do hereby respectfully make application for your review of my request concerning the property described below:

- Applicant(s) (main contact person):** *Agent for owner must complete the authorization on page 4*  
Doug Cole, Architect

**Address:** 16802 Third Ave La Conner, WA 98257

**Phone:** 360-466-2555      **E-mail:** doug@dougcolearchitect.com

- Property Owner(s):**  
Wenche Friis

**Address:** 1730 Taylor Ave North #204, Seattle, WA 98109

**Phone:** 206-227-9714      **E-mail:** wenche.friis@weyerhaeuser.com

- Address of Subject Property:**  
1206 NE Moore Place, Coupeville, WA 98239

- Assessor's Parcel Number:**  
S7205-00-00007-1

- Zone:** Low Density Residential (LDR)

**Present Use of Property (check all that apply):**

Residential	<input checked="" type="checkbox"/>	Agricultural	<input type="checkbox"/>	Other	<input type="checkbox"/>
Commercial	<input type="checkbox"/>	Institutional	<input type="checkbox"/>		

**DESCRIPTION OF PROPOSED WORK:**

Construction of a new single family residence and detached garage on an existing waterfront lot located within the Town of Coupeville.

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*Note: Please refer to the checklist on page 3 of this application for required submittal materials*

**Existing & Proposed Materials:** Type n/a if not applicable

Doors: <i>(existing)</i> <u>n/a</u>	<i>(proposed)</i> <u>Wood</u>
Windows: <u>n/a</u>	<u>Fiberglass or aluminum clad wood</u>
Deck/Railing: <u>n/a</u>	<u>Wood deck with metal railing</u>
Stairs/Ramp: <u>n/a</u>	<u>Wood stairs</u>
Siding: <u>n/a</u>	<u>Combination of metal and wood</u>
Roofing: <u>n/a</u>	<u>Metal</u>
Fence: <u>n/a</u>	<u>None proposed</u>

Type Y or N

Does the proposed project involve a Historic Building?  Yes  No

Is the property within 100 feet of a historic building?  Yes  No

Is there a Conservation Easement on the property?  Yes  No

*If yes, please include easement information with application packet*

**Applicant's Acknowledgment**

I am familiar with the Ebey's Reserve Design Guidelines as they pertain to my project. I certify by my signature below that the information in this application is accurate and complete. Planning staff has permission to copy materials, including architectural drawings, necessary for the review of my application.

\_\_\_\_\_ Date \_\_\_\_\_  
Applicant's Signature



**Typically, applications require the following information**

*For projects that are not complex, feel free to ask if the standard submittal requirements are necessary.*

- Clear color photographs of the building, overall site, nearby structures, and any adjacent properties.
- A complete description of the intended work.
- A scaled site plan depicting existing and proposed structures and improvements; including significant trees, tree planting, vegetative buffering, and landscaping. Include driveways and nearby roads for context and an “N” (north) arrow.
- Scaled design elevations of new structures or improvements, alterations, and additions. (Show both existing and proposed).
- Samples of construction materials (when requested). For historic buildings, submit new material samples for comparison with the existing or the original building materials.
- Any supplemental information deemed necessary and requested by the County or Town for review of the application (this usually relates to complex or large-scale projects.)
- Agent Authorization Form (page 4 if needed)
- Applicable Planning & Review Fees
  - *Level A applications; please provide original signed application and 1 copy*
  - *Level B applications; please provide original plus 3 copies*
  - *Level C applications; please provide original plus color 14 copies*

*Review fees are generally \$50 for Level A; \$100 for Level B; \$150 for Level C (check with staff to confirm appropriate application fee)*

**FOR STAFF USE ONLY**

**Review Authority - based upon the application description and project location within the Reserve**

Staff: \_\_\_\_\_ Level A  
 HRC: \_\_\_\_\_ Level B  
 HPC decision: \_\_\_\_\_ Level C  
 HPC recommendation: \_\_\_\_\_ Level D  
 Land Use \_\_\_\_\_ Construction \_\_\_\_\_

**ADDITIONAL NOTES:**

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### Agent Authorization Form

I, Wenche Friis, the owner(s) of the subject property, understand that by completing this form I hereby authorize Doug Cole, Architect to act as my agent. I understand that said agent will be authorized to submit applications on my behalf. I also understand that once an application has been submitted that all future correspondence will be directed to said agent.

1) Wenche Friis  
Property Owner Name(s) (print)  
Wenche Friis  
Signature(s)

State of Washington )  
County of King )

I certify that I know or have satisfactory evidence that Wenche Friis signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

2) \_\_\_\_\_  
Property Owner Name(s) (print)  
\_\_\_\_\_  
Signature(s)  
5/2/2023  
Date



Dated May 2, 2023  
Signature of Teresa Tillman  
Notary Public  
Printed Name Teresa Tillman  
Residing at King County  
My appointment expires Jan. 05, 2025

1) \_\_\_\_\_  
Property Owner Name(s) (print)  
\_\_\_\_\_  
Signature(s)

2) \_\_\_\_\_  
Property Owner Name(s) (print)  
\_\_\_\_\_  
Signature(s)  
\_\_\_\_\_  
Date

State of Washington )  
County of \_\_\_\_\_ )

I certify that I know or have satisfactory evidence that \_\_\_\_\_ signed this instrument and acknowledged it to be (his/her) free and voluntary act for the uses and purposes mentioned in this instrument.

Dated \_\_\_\_\_  
Signature of \_\_\_\_\_  
Notary Public \_\_\_\_\_  
Printed Name \_\_\_\_\_  
Residing at \_\_\_\_\_  
My appointment expires \_\_\_\_\_



## Doug Cole, Architect

16802 Third Avenue  
La Conner, WA 98257  
360-466-2555

May 2, 2023

Donna Keeler, Planning Director  
Joshua Engelbrecht, Assistant Planner  
Town of Coupeville  
4 NE Seventh St  
Coupeville, WA 98239

Re: Ebey's Landing Historic District  
Certificate of Appropriateness Application - 1206 NE Moore Place  
Parcel number S7205-00-00007-1

Dear Donna & Joshua:

In support of my clients' application for a Ebey's Landing Historic District Certificate of Appropriateness (COA) this letter provides some additional context beyond the application form and drawings.

### **The Property & Permitting Approach**

This level no-bank waterfront lot on Penn Cove is located at the north end of NE Moore Place, at the bottom of a wooded hillside. The property is currently undeveloped with the exception of a legally permitted septic system which was put in many years ago but never placed in service. There are three existing cabins located to the east and a couple of cabin structures on the lots to the west (see picture below).

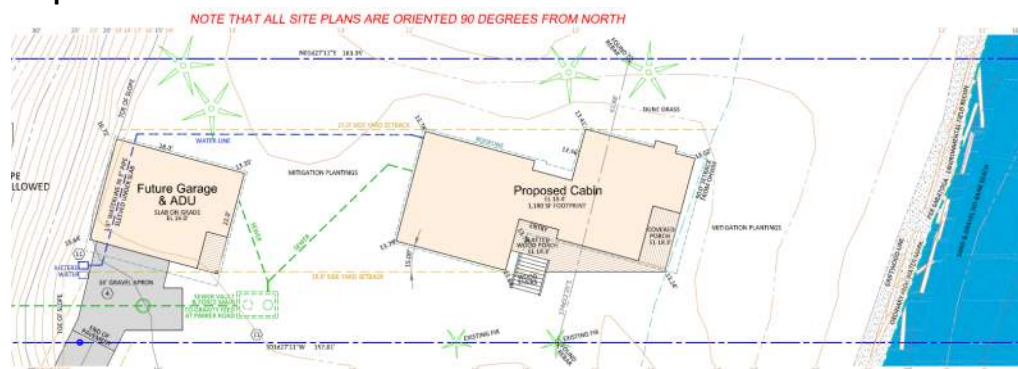


Aerial View of Lot and Surroundings (North up orientation)

Rather than update the existing septic system, which would require a Shorelines Variance, the applicants are working with the Town of Coupeville Public Works group to connect this lot to the proposed sewer extension on Parker Road. This property would be the first on NE Moore Place to connect to such service and would negate the need to apply for a Shorelines Variance in order to develop the property.

Simultaneous to this COA process we are preparing our Shorelines and Building Permit drawing applications, however we understand we can work through the COA process in parallel to those efforts. Reports related to environmental review, mitigation planting, hillside stability, geotechnical conditions, flood elevation certification, and archeological reviews have been prepared. This information can be provided as a part of this COA application, however we are under the impression those reports and studies are more relevant to the Shorelines and Building Permit processes.

### Proposed Site Plan



Partial Site Plan (North right orientation)

From the bottom of the hillside to the ordinary high water mark (OHWM) is a distance of approximately 175 feet. The property is essentially level from the toe of the hillside (el 15') dropping to el 11' at the driftwood line, for a average slope of 2%. The north face of the proposed cabin is located upland of the required 50' OHWM setback line, which places the cabin 20 feet further upland than any of the neighbors existing structures. *Note that the site plans are rotated so that north is to the right.*

The siting of the Cabin aligns in a similar orientation to the existing adjacent structures, both of which front their respective beaches and have no true alignment with the actual property lines. In keeping with this theme, the proposed cabin reflects that off-set alignment to face the beach, which both recognizes the existing cabins and also provides a unique opportunity to break up what otherwise would be a rather boring rectangle for the cabin footprint. The proposed footprints are also in keeping with the scale of the adjacent structures. This is shown in the image below.



Site Plan (North right orientation)

### Addressing Sea Level Rise

In anticipation of future tidal events, the main floor level of the primary structure is proposed to be elevated above the year 2100 flood level as noted in the Town's Sea Level Rise Vulnerability Assessment of January 2023 prepared by Coastal Geologic Services. It is worth noting that this particular lot was not inundated during the December 27, 2022 King tide event, although the adjoining lots were impacted.



December 27, 2022 – Looking west from northwest corner of parcel – during King tide



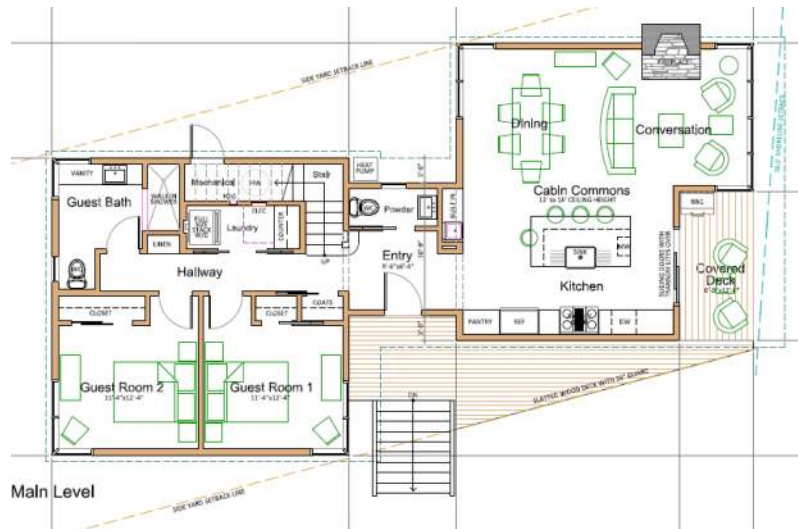
January 4, 2023 — post King tide – same view as above



January 4, 2023 – Looking east from northwest corner of parcel – post King tide – high water line showing

### Cabin Design

The floor plan of the Cabin is based on a pair of 24' square "pods", offset from each other to work within the side yard setbacks. The massing of the cabin is similarly divided into two elements which vary in height, connected by the single storey element, allowing views to the water over and to the side of the forward pod.



Main Level  
Floor Plan

The exterior design style is a hybrid rustic-contemporary blending the simple square pods - which I refer to as the "Tug and Barge". The drawings show the Living room pod (Tug) faced in rough sawn vertical cedar boards that "reach back" to the Bedroom wing (Barge) and grab hold of that pod with a horizontal fascia tie of cedar siding. The cedar pod and fascia are metaphorically pulling the Barge pod towards the water views in front of the Tug.

A low slope roof supported by heavy timber beams keeps the structure and rooflines simple, while providing visual interest due to the offsetting heights of the various building elements, allowing for views from the "Barge" wing over and across the sides of the "Tug" given the height difference and offset nature of the building footprints.



East Elevation

Glazing locations and glazing sizes have been carefully considered with the intent to minimize large expanses of glass - by providing focused views through vertical slots from the bedroom wing - rather than through wide expanses of glazing. Glazing on the water-side of the cabin is north-facing and also limited in scale compared to the wall surface area there, and as the glazing is facing north, the quality of light is more consistent and less subject to glare or reflection - as the sun is never directly shining on this face of the building (with the exception of some limited westerly sunsets towards the June solstice). This approach, in conjunction with the use of non-reflective glass, combine to minimize the chance of bird-strikes while maximizing views from the common interior living spaces.



North (Beach) Elevation

Overall the is for a modestly sized cabin with the potential for a future Garage/ADU. The size is in keeping with the scale of existing structures and the exterior style and materials reflect common pacific northwest themes. It is also worth noting that the building will only be visible from the water or from the immediately adjacent lots and there are no known historic structures nearby or within sitelines of the proposed cabin.

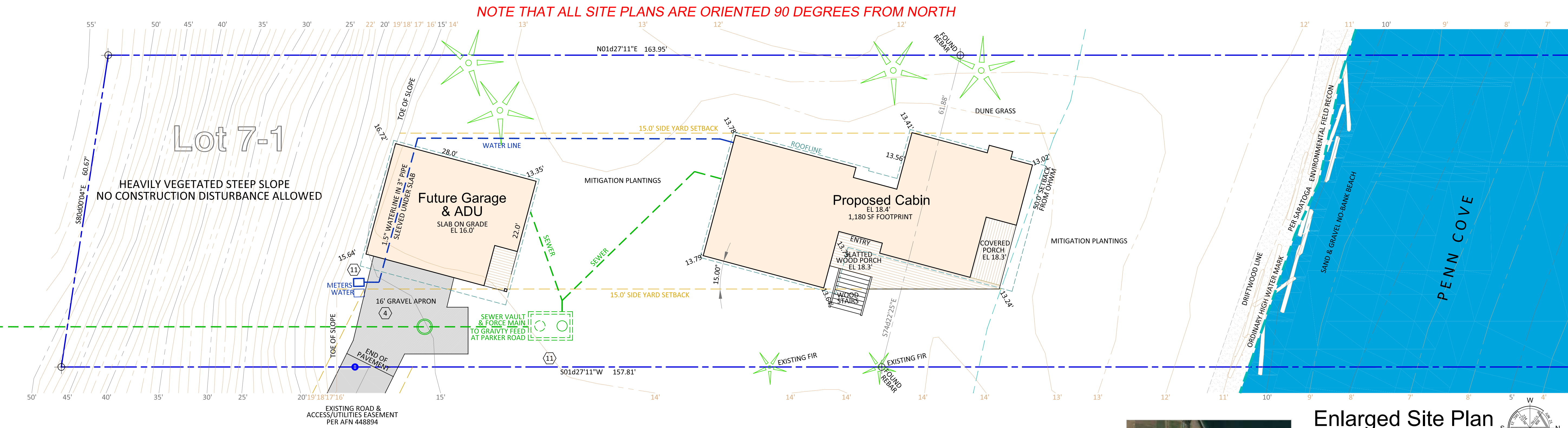
Please do not hesitate to reach out to me if I can provide more information about the application and proposed design.

Sincerely,

Doug Cole  
WA Architect 4292

Cc: Wenche Friis, Mark Titus

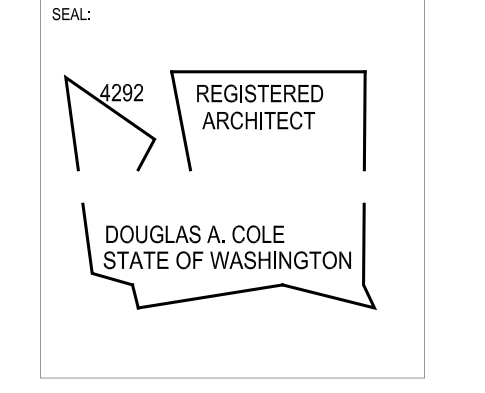
Attachments: Site Plan, Floor Plans & Building Elevation drawings & COA Application form



UNLESS NOTED OTHERWISE, THIS DRAWING WAS PLOTTED TO SCALE IN PDF FORMAT. DO NOT ASSUME THE FILE OR HARD COPY PRINT YOU ARE VIEWING IS ALSO REPRODUCED TO SCALE. WRITTEN DIMENSIONS SUPERCEDE GRAPHIC SCALING.

DATE:	DESCRIPTION:
08/06/2021	CONCEPTUAL SITE PLAN & CABIN DESIGN V1
08/27/2021	CONCEPTUAL SITE PLAN & CABIN DESIGN V2
04/05/2022	CONCEPTUAL SITE PLAN UPDATED WITH PROPOSED SEPTIC LAYOUT
05/02/2022	SITE PLAN WITH UPDATED SEPTIC LAYOUT CONSTRAINTS
12/26/2022	CONCEPT PLANS WITHOUT FLOOD ELEVATIONS & FULL BUILDING ELEVATIONS
02/10/2023	CONCEPT PLANS WITHOUT FLOOD ELEVATIONS & FULL BUILDING ELEVATIONS TOPOGRAPHY AND SPOTS
03/29/2023	UPDATED SITE PLAN WITH FLOOD ELEVATION TOPOGRAPHY AND SPOTS
04/21/2023	CAO DRAFT SITE PLAN
05/02/2023	CAO APPLICATION SITE & BUILDING PLANS

SEAL: 4292 REGISTERED ARCHITECT DOUGLAS A. COLE STATE OF WASHINGTON



DAC ARCHITECTURE, LLC dba DOUG COLE ARCHITECT 14 Green Road Coupeville, WA 98239 doug@dougcolearchitect.com 3604662958

**Wench Friis & Mark Titus**  
1700 Taylor Ave North #204 Seattle, WA 98109

PROJECT: **Coupeville Cabin**  
CRAC ADDRESS: 1206 NE MOORE PLACE COUPEVILLE, WA 98239

ISSUE NOTES:  
**- Preliminary - Not For Construction**

DRAWN BY: DAC CHECKED BY: DAC  
SCALE: AS NOTED  
SHEET TITLE: **EBEY'S LANDING CERTIFICATE OF APPROPRIATENESS APPLICATION SITE PLAN**

REVNO: - SHEET: **A1.1**

**Panorama view from northwest property corner**



**Enlarged Site Plan**  
SCALE: 1" = 10.0'  
1206 N.E. Moore Place  
NOTE: PLAN ORIENTATION IS 90 DEGREES EAST OF NORTH

**Impervious / Lot Coverage Calculations**

TOTAL SITE AREA: ~10,768 SF ABOVE OHWM TO TOE OF SLOPE	EXISTING	NEW	TOTAL
IMPERVIOUS SURFACE:	0 SF	1,441 SF	1,441 SF
NEW RESIDENCE ROOF AREA:	0 SF	725 SF	725 SF
GARAGE ROOF AREA:	9 SF	303 SF	312 SF
PAVED DRIVES & PARKING APRON:	0 SF	0 SF	0 SF
MECHANICAL EQUIPMENT PADS (NOT UNDER ROOF LINE):	0 SF	145 SF	145 SF
SLATTED WOOD BOARDWALK (290 SF AT 50%):	0 SF	55 SF	55 SF
SLATTED WOOD DECK (110 SF AT 50%):	0 SF	55 SF	55 SF
TOTALS	9 SF	2,669 SF	2,678 SF

IMPERVIOUS COVERAGE: 0.1% 24.8% 24.9%

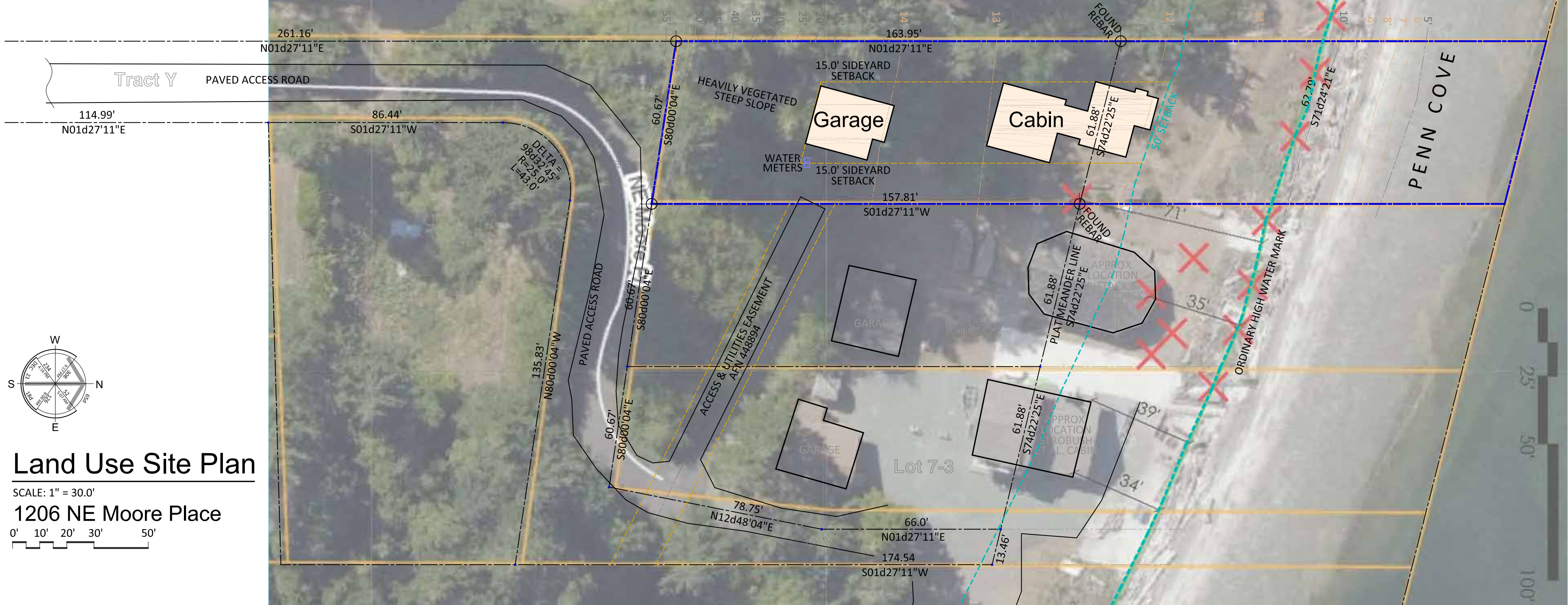
**Zoning Compliance**  
TOTAL USEABLE SITE AREA: ~10,868 SF BETWEEN TOE OF BLUFF AND OHWM  
MAXIMUM LOT COVERAGE IN LDR ZONE: 25% OF USEABLE LOT AREA = 2,717 SF OF TOTAL IMPERVIOUS AREA  
VERTICAL DATUM = AVERAGE OF HIGH AND LOW GRADE WITHIN 5' OF STRUCTURE = 13.5'  
MAXIMUM BUILDING HEIGHT = 28.0' ABOVE VERTICAL DATUM = EL 41.5'  
FEMA FLOOD ELEVATION = 14.0'  
RECOMMENDED FLOOD RESISTANT CONSTRUCTION TO 16.0'  
POSSIBLE FUTURE FLOOD EVENT ELEVATION PER TOWN ASSESSMENT REPORT IN 2100 = 17.2'  
PROPOSED MAIN FLOOR ELEVATION 18.4' LEAVES 23.1' VERTICAL FOR BUILDING ENVELOPE  
SIDEYARD SETBACKS: 15' REQUIRED, 15' PROVIDED AT NARROWEST POINTS.

**Survey Notes**  
1. LOTLINE DISTANCES AND HEADINGS TAKEN FROM ORIGINAL PLAT OF HOSKINS ADDITION AND SUBSEQUENT 2006 SURVEY PREPARED BY A.S.E. & T. SURVEYORS FOR IVY DIERS RECORDED UNDER APN 4192035  
2. 2' TOPO CONTOURS BELOW 22' FROM CASCADE SURVEYORS FLOOD ELEVATION CERTIFICATE WORK. ALL OTHERS ESTIMATED FROM COUNTY GIS AND GOOGLE EARTH SOURCES

**Legal Description**

ALL INTEREST IN THE FOLLOWING DESCRIBED REAL ESTATE SITUATED IN THE COUNTY OF ISLAND, STATE OF WASHINGTON, TO WIT:  
THAT PORTION OF THE WEST 60 FEET OF LOT 7 IN THE PLAT OF HOSKIN'S FIRST ADDITION TO COUPEVILLE, AS PER PLAT RECORDED IN VOLUME 10 OF PLATS, PAGE 18, RECORDS OF ISLAND COUNTY, WASHINGTON, LYING NORTHERLY OF THE FOLLOWING DESCRIBED TRACT, HEREINAFTER REFERRED TO AS TRACT "Y":  
COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 7; THENCE SOUTH 1° 27' 11" WEST, ALONG THE WEST LINE OF SAID LOT 7, A DISTANCE OF 430.11 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7, BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 1° 27' 11" EAST 266.16 FEET; THENCE SOUTH 80° 00' 04" EAST 166.34 FEET; THENCE NORTH 12° 48' 04" EAST 78.75 FEET; THENCE NORTH 1° 27' 11" EAST 66.00 FEET TO THE NORTH LINE OF SAID LOT 7; THENCE SOUTH 74° 22' 25" EAST, ALONG SAID NORTH LINE A DISTANCE OF 13.46 FEET TO THE EAST LINE OF SAID LOT 7; THENCE SOUTH 1° 27' 11" WEST, ALONG SAID EAST LINE, A DISTANCE OF 174.54 FEET; THENCE NORTH 80° 00' 04" WEST, 135.85 FEET TO THE BEGINNING OF A CURVE TO THE LEFT, HAVING A RADIUS OF 25.00 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE TO THE LEFT, THROUGH AN ARC OF 98° 32' 45" FOR A DISTANCE OF 43.00 FEET; THENCE SOUTH 1° 27' 11" WEST 201.43 FEET TO THE SOUTH LINE OF SAID LOT 7; THENCE SOUTH 89° 50' 11" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 30.02 FEET TO THE TRUE POINT OF BEGINNING.  
TOGETHER WITH AN UNDIVIDED 1/10 INTEREST IN SAID TRACT "Y"; TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS AND FOR THE CONSTRUCTION AND MAINTENANCE OF UTILITIES, OVER, UNDER AND ACROSS A 15 FOOT STRIP OF LAND LYING 7.5 FEET ON EITHER SIDE OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT LYING ON THE EAST LINE OF SAID LOT 7 SOUTH 1° 27' 11" WEST 131.00 FEET FROM THE NORTHEAST CORNER OF SAID LOT 7; THENCE NORTH 62° 10' 00" WEST 148.51 FEET, MORE OR LESS, TO THE EAST LINE OF THE WEST 60 FEET OF THE AFORESAID LOT 7, SAID POINT BEING THE WESTERLY TERMINUS OF THE AFOREMENTIONED LINE. SITUATE IN THE COUNTY OF ISLAND, STATE OF WASHINGTON.  
RESERVATIONS, RESTRICTIONS AND EASEMENTS OF RECORD INCLUDING:  
1. EASEMENT FOR TRANSMISSION LINE ACROSS PARCEL 2 GRANTED PUGET SOUND POWER & LIGHT CO., A CORP., DATED APRIL 28, 1955, FILED MAY 3, 1955, FILE NO. 98409.  
2. THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS, ALSO THE RIGHT TO DRAIN ALL STREETS OVER AND ACROSS ANY LOT OR LOTS WHERE WATER MIGHT TAKE A NATURAL COURSE AFTER THE STREETS ARE GRADED.  
3. NO PERMANENT STRUCTURE OR BUILDING SHALL BE CONSTRUCTED ON ANY LOT, TRACT OR PARCEL OF THIS PLAT CLOSER THAN 20 FEET TO THE MARGIN OF ANY STREET OR ROAD. CONSTRUCTION ON ANY LOT SHALL REQUIRE A BUILDING PERMIT AND SEWAGE DISPOSAL PERMIT PRIOR TO COMMENCEMENT OF WORK.  
TOGETHER WITH: THAT PORTION OF THE UPLANDS LYING BETWEEN THE MEANDER LINE AND THE LINE OF ORDINARY HIGH TIDE AND LYING BETWEEN THE EAST AND WEST LINES OF THE ABOVE DESCRIBED TRACT, EXTENDED NORTHERLY.

**NOTE THAT ALL SITE PLANS ARE ORIENTED 90 DEGREES FROM NORTH**



**Land Use Site Plan**  
SCALE: 1" = 30.0'  
1206 NE Moore Place





